

Town of Goderich

HERITAGE CONSERVATION DISTRICT PLAN



MAY 2014

FINAL REPORT

PREPARED FOR:
Town of Goderich

PREPARED BY:
BRAY Heritage

with:
the Planning Partnership

*Study funding from the Ontario Ministry of Tourism, Culture and Sport
"Creative Community Prosperity Fund"*

TABLE OF CONTENTS

■ Part 1 Conserving and Enhancing District Character

1. Introduction	1
1.1 What is a Heritage District?.....	1
1.2 Benefits of District Designation.....	3
1.3 District Planning Process and Mandate.....	5
1.4 Contents of a HCD Plan	6
1.5 Aspects of Downtown Affected by Designation.....	7
2. Statement of Objectives	9
2.1 Rationale for Designation.....	9
2.2 Statement of Cultural Value or Interest	11
2.3 Description of Heritage Attributes of HCDs and of Properties (by sub-district, not individual).....	12
2.3.1 The Square.....	12
2.3.2 West Street.....	15
2.3.3 Residential Quadrants	16
2.3.4 Downtown Commercial Core	18
2.4 HCD Boundary and Maps	21
2.5 Conservation Goals and Objectives.....	23
2.5.1 District	24
2.5.2 Landscape/Streetscape.....	24
2.5.3 Heritage Buildings	25
2.5.4 Regulatory Process	26
2.6 Conservation and Development Policies.....	26
2.6.1 District Policies	27
2.6.2 Landscapes/Streetscapes.....	27
2.6.3 Heritage Buildings	28
2.6.4 Regulatory Process	28
2.7 Managing Risk	29

■ Part 2 District Guidelines

3. Introduction	35
3.1 Purpose	35
3.2 Role of Guidelines	36

3.3	Guideline Principles	36
3.4	Definitions	38
4.	Conservation of Built Heritage Resources	41
4.1	Conservation Process	41
4.2	Scope of Work	42
5.	Physical Context	45
5.1	Downtown Character	45
5.1.1	Commercial Buildings	46
5.1.2	Residential and Institutional Buildings	49
5.2	Cultural Landscape Types in the Districts	51
5.2.1	Public Realm	51
5.2.2	Private Realm	51
6.	Guidelines for Buildings (all types)	53
6.1	Introduction	53
6.1.1	Design Principles	53
6.1.2	Property Evaluations	54
6.2	Guidelines for Upkeep of Significant Heritage Properties and Contributing Properties	54
6.2.1	Utilities and Telecommunications Installations	54
6.2.2	Environmental Sustainability	55
6.2.3	Roofs	56
6.2.4	Exterior Walls	57
6.2.5	Decorative Trim and Details	58
6.2.6	Windows and Doors	59
6.2.7	Foundations	59
6.2.8	Signage	60
6.3	Guidelines for Alterations to Heritage/ Contributing Buildings	60
6.3.1	General Practices for Alterations	60
6.3.2	Roofs	61
6.3.3	Windows	61
6.3.4	Cladding	61
6.3.5	New multiple dwelling units in existing building	62
6.4	Guidelines for Additions to Heritage/ Contributing Buildings	62
6.4.1	General Guidelines	62
6.4.2	Signage	63
6.5	Guidelines for Alterations/Additions to Non-heritage/Non-contributing Properties	63
6.5.1	Windows	63
6.5.2	Cladding	63
6.5.3	Multiple dwelling units	63
6.6	Guidelines for New Construction	64
6.6.1	General	64
6.6.2	Massing	64

6.6.3	Roofs.....	64
6.6.4	Windows.....	64
6.6.5	Cladding.....	65
6.6.6	Signage	65
6.6.7	Demolition.....	65

7. Guidelines for Streetscapes and the Public Realm..... 67

7.1	Introduction.....	67
7.2	Streetscapes.....	68
7.2.1	Streetscape Treatment.....	68
7.2.2	Lanes and pathways	68
7.2.3	Public road allowance	68
7.2.4	Lighting.....	69
7.2.5	Street furniture and signage.....	69
7.2.6	Plantings	69
7.2.7	Parking and loading	70
7.2.8	District identity.....	70

■ Part 3 Managing Changes

8. Heritage Application Process 73

8.1	Applications for Alterations under the <i>Ontario Heritage Act</i> (Heritage Permits).....	73
8.2	Municipal Authority for Requiring an “Application for Alteration under the <i>Ontario Heritage Act</i> ”.....	74

Resources & References 79

■ Appendices

Appendices..... 81

- Appendix A – Town of Goderich HCD Implementation Process
- Appendix B – Inventory and Evaluation
- Appendix C – Meetings and Study Team
- Appendix D – Guidelines from the Downtown Master Plan
- Appendix E – Guidelines from Understanding Commercial Blocks in Goderich

Executive Summary

The Designation Process

The citizens of Goderich have wanted to protect their downtown core since shortly after there was Provincial heritage legislation to do so. Beginning in the late 1970s, Council passed resolutions to pursue designation of the “square proper” – the area containing streets radiating from Court House Square – and succeeded in doing so by the mid-1980s. However, these attempts were piecemeal. For a variety of reasons, to date only two parts of the larger area have been designated as Heritage Conservation Districts: the area around the Court House known as the Square; and West Street. The intent of the current heritage planning process is to finally achieve the goal of designating the entire large square.

To do so, the Town needed to follow the current Provincial requirements for Heritage Conservation District planning. The Town’s process meets the requirements stipulated by the Province of Ontario’s Ministry of Tourism, Culture and Sport for the production of such Plans, as found in the *Ontario Heritage Act*, and the key advisory and policy documents of the Ontario Heritage Tool Kit and the Provincial Policy Statement. It needed to award a contract to a consulting team that would first prepare a Study that would provide a rationale for the full designation as well as update the two existing District Plans to conform to Provincial requirements. A team of planners, architects and landscape architects led by Bray Heritage of Kingston won the contract and has prepared the Study.

The Study confirmed that the larger area was worthy of designation and proposed a District boundary. Town Council adopted the Study and authorized staff and the consultants to proceed with preparation of a Heritage Conservation District Plan, in accordance with Provincial requirements. Thanks to legal advice from the Ontario Ministry of Tourism, Culture and Sport as well as from the Town’s legal counsel, the Plan contains three separate but contiguous Heritage Conservation Districts: the two existing Districts and another that incorporates the remaining portions of the larger square. It is the consolidated District Plan that is the subject of this report. Assuming that Council adopts the report, it then passes designation by-laws which, following an appeal period and resolution of appeals, if any, the Districts become law. The Town staff and volunteer heritage committee then manage change within the Districts, according to the policies and guidelines found in the District Plan.

Intent of the District Plan

The Goderich Heritage Conservation District Plan has been created by the consulting team, aided by Town staff and addressing comments made by the public. In response to losses of properties in the downtown due to demolition or natural disaster, and understanding the great potential that historic downtowns have for community economic regeneration, the main goal of designation is to conserve what remains and thus capitalize on the unique elements of Goderich’s downtown. Once the two existing HCDs have been updated and the third District has been designated, any property owner or agency intending to make changes within these Districts must have regard for the Plan’s policies and guidelines when undertaking their work. This management process will enhance investments that have already been made and provide incentives for new development by reducing risk and upgrading the physical setting.

As explained in more detail in the District Plan, there are several reasons why the core of downtown Goderich has been recommended for designation as three Heritage Conservation Districts. They are its ongoing role as the town’s hub of both civic and commercial activity and its significant concentration of 19th and early 20th century commercial, residential and institutional buildings, many of which are themselves heritage properties.

The following Plan has these main objectives:

- To help residents, staff and Council understand the reasons for District designation and the policies and guidelines that are intended to conserve its heritage character;
- To help those wishing to make significant changes to properties within the Districts use the heritage permit process; and
- To help municipal staff and Council manage change within the Districts.

Plan Structure

The Plan is divided into three main sections:

- Part 1** provides the reasons for District designation. It defines what a Heritage Conservation District is, explains the benefits of designation, outlines the designation process, and describes what is and is not covered by the Plan. This section also summarizes the District's heritage values, includes conservation and development policies for the Districts, and offers recommendations for managing risk (such as that resulting from natural disaster).
- Part 2** provides design advice for changes to buildings and landscapes. Guidelines cover conservation of, as well as alterations and additions to, buildings that contribute to the District heritage character. They offer advice for creating compatible new buildings and also provide options for changing buildings that do not support District character. There are also guidelines for changes to municipal properties in the public streetscape.
- Part 3** contains details of the regulatory process that will come into effect once the Plan is approved. There are definitions of what does and does not require a heritage permit, and descriptions of the approval process.

Where to Find Information

Readers are encouraged to go directly to the sections that respond to their needs. Sections that will be used most often include the following:

- For advice on conservation and maintenance of existing heritage buildings, see Part 2, Section 4.
- For design guidelines covering changes to buildings and streetscapes within the District: see Part 2, Sections 6 and 7.
- For definitions of what does and does not require a heritage permit, and for the application process, see Part 3, Section 8.
- For the roles and responsibilities of Town staff and heritage advisory group in managing change, see Appendix A.
- For the assessment of the heritage value of properties within the Districts, see Appendix B.

If you have any further questions, please contact the Town of Goderich Planning Department.

Users' Guide

Frequently Asked Questions

WHAT IS A HERITAGE CONSERVATION DISTRICT?

It is an area of special character, combining older buildings and their settings that, together, make up a district that has an identifiably distinct "sense of place". The heritage resources within a district include buildings, structures, cultural landscapes, and sites of archaeological potential. The *Ontario Heritage Act* is special legislation allowing district designation and codifying an area's "heritage character" in order to protect its character defining elements.

WHY WAS THE DOWNTOWN CORE SELECTED FOR STUDY AS A HERITAGE CONSERVATION DISTRICT?

It is centred on Goderich's commercial core and has functioned for over a century as the hub of both civic and commercial activity in the downtown. The two existing Heritage Conservation Districts (HCDs) requiring updating – West Street and the central Square - contain a significant concentration of 19th century commercial and institutional buildings, many of which are worthy of individual designation. The larger study area of the "square" has a significant concentration of residential buildings along with commercial and includes the remainder of the town's unique radial street pattern.

HOW WOULD DISTRICT DESIGNATION IMPACT RESIDENTS?

Designation allows the Town to manage change within the District by specifying the types of changes that will conserve and enhance the character of the District. Designation also celebrates what is special about the District, building community pride and encouraging compatible improvements to both public and private properties. Proposed changes of a major sort are regulated by the Town, using guidelines produced as part of the District Plan.

HOW DOES DISTRICT DESIGNATION AFFECT CHANGES TO MY PROPERTY?

Designation entails a municipal requirement for a heritage permit for any significant change to the public face of your property (i.e. front, sides and roof, but usually not the rear). Routine maintenance is not affected, and professional planning staff work with property owners to provide advice on compatible alterations, using guidelines in the District Plan.

WILL THE VALUE OF MY PROPERTY CHANGE?

Studies in Canada and the United States have shown that property values in Heritage Conservation Districts either stay the same or increase.

WHAT ARE THE NEXT STEPS, AND HOW DO I GET INVOLVED?

The Plan will be presented in draft form, with revisions following a statutory public meeting at which comment is encouraged. The final report will be presented to Council in April, after which designating by-laws will be prepared by the Town. Once Council passes these by-laws, and should there be no objections to designation during the 30 day notice period, the Heritage Conservation Districts come into effect.

To comment on the Plan, you can also contact the Town's planner responsible for this project, Dwayne Evans, at (519) 524-8344 x 227 (Tuesdays only, otherwise (519) 524-8394 x 3).

How to Use this Plan

This document is intended to be used by the general public as well as by Town staff. It contains the information required by the Province of Ontario for the preparation of Heritage Conservation District Plans, as laid out in the *Ontario Heritage Act* and described in the Ministry of Tourism, Culture and Sport's *Ontario Heritage Tool Kit*.

The Plan has three main sections and appendices:

- **Part 1: Conserving and Enhancing District Character**, which describes the reasons for designation and shows the District boundaries;
- **Part 2: District Guidelines**, which provides detailed advice for the conservation of buildings and landscapes within the Districts and establishes criteria any changes, including new construction; and
- **Part 3: Managing Changes**, which sets out the process for regulating change in the Districts, including heritage permit applications.

Appendices include an inventory and evaluation of District properties (separate document), recommendations for future changes to the Town's heritage planning policies and procedures, and a record of public consultation.

The Plan should be read as a whole, however, each section is a discrete document, and the guidelines can be referred to individually. So, for example, if you wish to find advice on what actions require a heritage permit, you can refer directly to that section. Similarly, if you seek advice on how best to undertake an alteration to a heritage building, that section can be referred to directly. Refer to the table of contents to find the section you need.

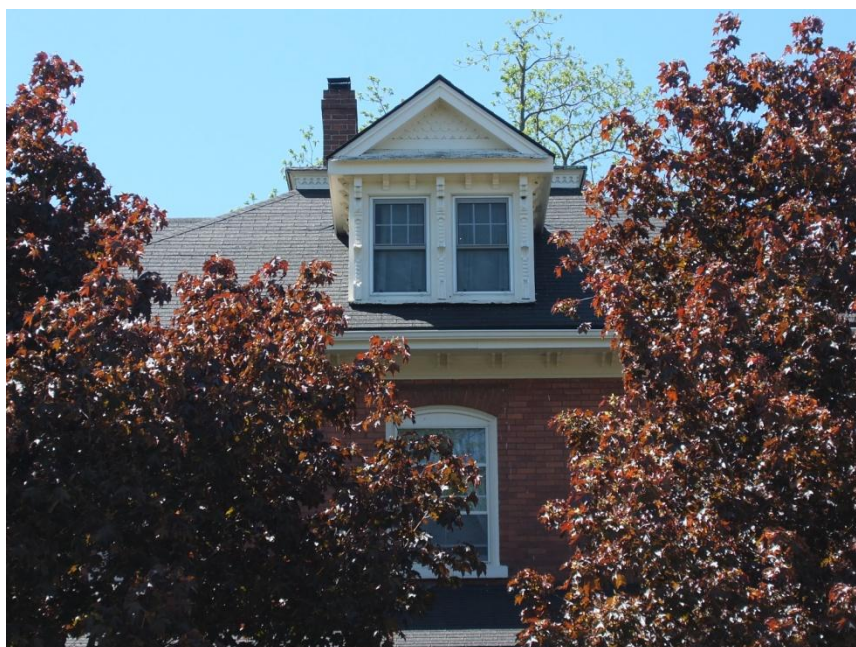




■ Part 1

Conserving and Enhancing District Character

1. Introduction



1.1 What is a Heritage District?

A heritage district is a distinctive urban setting that has significant historical value. Its special character is often a function of the age of its structures, the history of its occupation, and the land uses it contains. The boundaries may be sharply defined, as along a waterfront, or blurry, as in mixed use areas. The Provincial Ministry of Tourism, Culture and Sport, the agency responsible for heritage planning, defines districts broadly, from a group of buildings to entire settlements. The key is that the defined area has “a concentration of heritage resources with special character or historical association that distinguishes it from its surroundings” (Ontario Heritage Tool Kit, Heritage Conservation Districts, 5).

Heritage districts are not new: they have been widely used in Britain and Europe since the end of WWII, in the United States since the 1950s, and in Canada since the 1970s. They have proven to be effective ways of conserving and enhancing special places while supporting the everyday lives of residents and visitors.

The Tool Kit (op. cit., 10) goes on to describe the common characteristics of heritage districts. They are:

- “A concentration of heritage resources” (buildings, sites, structures, landscapes, archaeological sites) that have some common link for reasons of use, aesthetics, socio-cultural or historical association;
- “A framework of structured elements” that provide edges, such as major routes, shorelines, landforms, or land uses;
- “A sense of visual coherence” that is expressed in built form or streetscapes, and;
- “A distinctiveness”, whether tangible or not, that makes the district recognizably different from its surroundings.

Goderich already has two Heritage Conservation Districts in its downtown core: the current Plan adds another that wraps around the existing Districts to complete the “square proper”. Although designated well before the changes to heritage planning legislation in 2005, the two Districts comply with the criteria for designation stated above. What is required now is to bring their Plans into conformity with the 2005 legislation and to add a new District that is similarly compliant with the current Provincial heritage planning requirements.

The downtown core plays a crucial part in the everyday life of the town, as well as being the place where the community comes together for special events and the primary destination for visitors. Its concentration of high quality 19th century commercial buildings makes it distinctive, but also vulnerable to change that is at odds with the area’s character. Defining, recognizing and enhancing this character are primary goals of the heritage district designation process.

The District Study and Plan offer many opportunities to support these goals. There are ways that the project can help local residents to articulate the characteristics of the area they wish to conserve and to utilize their talents in ways that both assist the Town and educate those participating. The planning process thus becomes two things: a means of producing protective legislation, and a way to put into words and actions the aspects of the study area that local people value. In the end, the resulting plan and guidelines not only provide clear policy direction for the municipality in planning for the downtown, they also establish a process that can be emulated in designation studies for future candidate areas such as some of the residential neighbourhoods or former industrial lands.

1.2 Benefits of District Designation

Promoting Civic Pride

Because Goderich has had the benefit of many years of District designation, and its residents have also had opportunities to comment on the character of these Districts as part of recent planning exercises, the community has been able to articulate its values for the downtown core. As is evident from their comments, the “sense of place” generated by Goderich’s downtown is determined by the experience of being in and around its physical setting, that is, the buildings and streetscapes that make up the study area. These “cultural heritage resources”, to use the term found in Provincial planning and heritage legislation, are precious and deserve good stewardship. Numerous comments from both new and long-time residents support this. In response to these values, designation is a means by which local owners, tenants and residents are able to express pride in their property and in the downtown as a whole: it is also a way of promoting public appreciation of local history.

Managing Change

Changes brought about by downtown revitalization, as well as neglect or natural disaster, can have a negative impact on these settings and erode local identity. To counter these trends, District designation is one of the most effective heritage planning tools available to Ontario municipalities. While the *Planning Act* handles most of the land development issues, it makes little reference to matters of community identity and heritage. Except where individual properties have been designated under Part IV of the *Ontario Heritage Act*, Goderich’s downtown buildings and streetscapes outside of the two HCDs that have evolved over the past century and a half are not protected in any meaningful way by the current policies in the Town’s Official Plan or Zoning By-law. By contrast, the Provincial Policy Statement and *Ontario Heritage Act* put the onus on municipalities to conserve “significant” cultural heritage resources, and provide policy tools and procedural guidelines with which to do so. While the policy tools found in the *Planning Act* are effective when used in combination with nationally accepted standards and guidelines for heritage conservation, designation of a district under Part V of the *Ontario Heritage Act* is the means by which a municipality puts these tools and guidelines to use, and fills the policy gap left by the *Planning Act*.

Encouraging Compatible Growth

Heritage conservation district designation is not necessarily, as the term may seem to imply, a device for preserving an existing setting. The main focus of district designation is change management. In recognizing the inevitability of change, designation can plan for its best course. Change in a downtown is the result of conscious action, in the case of renovation or new development, or inaction, in the case of deterioration by neglect. Downtowns do die, sometimes before people realize it is too late.

The “tipping point” has been reached, and the area’s “carrying capacity” has been exceeded. A district designation can help identify these critical thresholds and provide policy tools to ensure that they are respected. In Goderich’s case, District designation can ensure that rebuilding following the tornado recreates, and even enhances, the settings that local residents lost.

At the very least, designation can identify the types of changes that suit downtown character, and those that do not. Property owners get the information they need to make informed choices for improvements, and the municipality gets the guidelines and legislative mandate to regulate changes. In practice, change management in a Heritage District is seldom imposed from above but, rather, involves an ongoing discussion between property owners and Town staff/heritage advisory committee, based on policies and guidelines found in the Heritage District Plan, as to what the best course of action will be.

There is much public support for designation in Goderich’s downtown, but some people are concerned. Key issues are the degree of regulation imposed by designation (e.g. “will the Town tell me what colour I can paint my shop front?”), the cost of maintaining or upgrading older properties, the potential to “gentrify” the area and remove the rental and use mix now present, and the potential effect on property values. Regulation is something the Heritage Conservation District Plan and guidelines addresses, and is influenced by comments from local residents. Worries about gentrification and property values can, to some extent, be calmed by reference to the experience of other Ontario municipalities in which heritage districts that have maintained diversity and stabilized or improved property values. And at a very basic level, one benefit of designation is often improved enforcement of existing property standards, an ongoing concern for residents and the municipality alike.

In summary, the Town of Goderich has identified the downtown core as an area worthy of consideration for designation since the 1970s, and has already established two Heritage Conservation Districts. The Heritage Conservation District Study, completed in 2013, is the culmination of efforts by local residents to see the entire “square proper” designated and to ensure that the existing District Plans are updated. The 2013 District Study confirmed the worth of these intentions and concluded that designation of the remainder of the “square” as a Heritage Conservation District is the best way of ensuring that the area’s heritage character is conserved. Council’s adoption of the Study recommendations provides the mandate for the Heritage Conservation District Plan phase of work and, ultimately, designation.

1.3 District Planning Process and Mandate

The Province of Ontario has legislation allowing municipalities to apply additional levels of protection to areas that have heritage value. Subsection 41.(1) of the *Ontario Heritage Act* enables municipal councils to designate all or part of the municipality as a Heritage Conservation District (HCD). As stated in the Provincial Ministry of Tourism, Culture and Sport's "Ontario Heritage Tool Kit" for HCDs, "district designation enables the council of a municipality to manage and guide future change in the district, through adoption of a district plan with policies and guidelines for conservation, protection and enhancement of an area's special character. (p. 5)"

The current District Plan must be seen in the context of the designation process for HCDs. The designation process begins with a request to designate, originating from a municipal Council, in consultation with its municipal heritage advisory committee. The planning process has two parts: District Study and District Plan. Once Council has authorized commencement of the Study, Town staff prepares a request for proposal, with detailed study goals and objectives based on the requirements of the *Ontario Heritage Act*, and proposes a Study boundary. The successful consultant begins the Study phase with an assessment of the study area identified by the municipality. The District Study contains a history of the area's development and an inventory of its heritage resources (buildings, cultural landscapes, areas of archaeological potential), following guidelines that are found in the "Ontario Heritage Tool Kit". These resources are then evaluated, using the Tool Kit's criteria. The result of this evaluation is a recommendation to proceed with designation and a district boundary (which may differ from that suggested by staff) is provided. The Study is presented to Council and, if adopted, the Study then forms the basis for the Heritage Conservation District Plan. The Plan (including design guidelines and a permit process), accompanied by designating by-laws, is presented to Council. If adopted, and after the 30 day appeal period has passed and unless there are formal objections, the District is designated.

In Goderich, the mandate for considering district designation comes from two main sources: ongoing efforts by local residents to conserve and enhance the downtown, beginning in the 1970s; and Council's determination to spur efforts to rebuild the downtown following the 2011 tornado. As stated in the proposal call document (22 February, 2013, pp. 3-4), the *"reinvestment has caused widespread changes throughout the Downtown including façade repairs, new signage, new windows and in several cases, entire new buildings; the degree and pace of change in the existing Heritage Conservation Districts is considered unprecedented in the history of the Province. The effects of the August 2011 tornado were the primary factor in the municipality's decision to pursue a renewed Heritage Conservation District Study and Plan for the Downtown Area as the preservation of the Town's cultural heritage has been demonstrated to be of paramount importance to the Town's residents and visitors."*

The HCD Study for the downtown, completed in 2013 by a consulting team led by Bray Heritage, has concluded that district designation is the most effective way for the Town of Goderich to conserve and enhance the many heritage resources found in the study area. For many years, beginning with the streetscape improvements of the 1970s and continuing with the two existing Heritage Conservation Districts as well as the heritage policies and guidelines found in the Official Plan, the Town has identified the downtown core as an area to be conserved and enhanced. However, these measures alone are not sufficient to provide the level of protection for the area that local residents want. Only district designation can ensure that changes to the area are managed in ways that are compatible with area character. In December, 2013, Council adopted the Heritage Conservation District Study. In doing so, it approved the recommendation to proceed with the next steps of the designation process and authorized staff and the consulting team to begin preparation of a District Plan and guidelines.

1.4 Contents of a HCD Plan

The District Plan contains policies, guidelines and an approval process for implementing the Plan. Taken together, the District Study and the District Plan constitute the planning documents required for preparation of the by-law to designate the downtown core of Goderich as a Heritage Conservation District under Part V of the *Ontario Heritage Act*.

Any Conservation District Plan and Guidelines must comply with Subsection 41.1(5) of the *Ontario Heritage Act*, and must include the following:

- i. A statement of objectives to be achieved in designating the area as a heritage conservation district;*
- ii. A statement explaining the cultural heritage value or interest of the heritage conservation district;*
- iii. A description of the heritage attributes of the heritage conservation district and of the properties in the district;*
- iv. Policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and*
- v. A description of the alterations or classes of alterations that are minor in nature and that the owner of the property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42.2005,c.6,s.31.*

1.5 Aspects of Downtown Affected by Designation

Because an HCD involves an entire urban ensemble, it necessarily deals primarily with context; on the whole rather than on individual properties, as would be the case with designations of properties under Part IV of the *Ontario Heritage Act*. This means that the streetscape is the primary setting addressed, and change to what can be seen from the street is what the policies and guidelines cover. What is hidden, either behind the building or within building interiors, is not the subject of regulation with an HCD (sidelots, laneway and rear parking lot frontages will be addressed in guidelines).

Streetscape is also the public realm, owned and managed by the municipality, and thus the HCD provides guidance to the municipality for any public works that take place within the street right-of-way. Signage, streetlighting, power poles and wiring, street furniture and trees are all addressed, as are any proposed changes to the boulevards, alignment or curb-to-curb width. Similarly, lands owned by other municipal, Provincial or federal agencies should also be subject to the policies and guidelines of the HCD Plan. Designation affects actions by both private property owners and public agencies so that conservation is a consistent goal of any planned change.

An HCD Plan is not in itself a recipe for downtown revitalization, although it is an important first step. HCD Plans do not provide a parking strategy, nor do they offer detailed recommendations for partnerships or lay out all of the financial incentives possible to spur positive change. What they do identify are the elements of the district that make it special and worthy of care, and they spell out the steps needed for the Plan to be effective. The financial and management implications of District designation are indeed discussed, but the details of implementation are the responsibility of the municipality, the local property owners, and the public at large. Luckily, the HCD Plan follows the Downtown Master Plan which describes in detail the elements required for the physical revitalization of the downtown core. The two documents can thus work together to achieve many of the Town's revitalization goals.

2. Statement of Objectives



2.1 Rationale for Designation

Aside from addressing the policies in Provincial planning legislation and related policy initiatives from the Town of Goderich, a proposal to designate a heritage conservation district in Goderich must meet the requirements of the *Ontario Heritage Act*. The *Act* requires District Plans to include specific reasons for justifying a proposed district designation. The rationale should include an explanation of what designation entails and should refer back to the findings of the District Study. As discussed above, designation does not entail freezing the district in time. Rather, designation is a form of change management that allows communities to control the rate and type of change within the district. As discussed more fully in the Heritage Conservation District Study, designation of a District protects the essential elements that make up the area's character, but it does not preclude change. Rather, it is a management tool that retains the essential functional and visual elements that exhibit or express the history of the District, while allowing and encouraging changes that conserve and enhance those elements.

With this definition in mind, the rationale for designation can be summarized as follows:

- Goderich's downtown core is a discrete district with significant heritage character in the form of a unique radial street pattern as well as built heritage resources, cultural landscapes, potential archaeological resources, and associations with important people and events in town's history

- The inventory and evaluation of the study area have shown that these heritage resources merit conservation.
- The downtown core is valuable because its heritage resources are largely intact and the district as a whole retains a distinct character.
- The area shows evidence of the major stages of its evolution.
- Provincial planning policies require conservation of significant cultural heritage resources, as does the Town of Goderich Official Plan.
- The Official Plan for the Town of Goderich identifies the study area as a distinct historic district and includes policies and guidelines for its conservation and enhancement.
- The downtown is stable and vibrant but under some development pressure for intensification and redevelopment, especially following the effects of the 2011 tornado.
- There is strong public support for designation.
- The downtown is a popular tourist destination.
- District designation has proven to be the best policy tool available to Ontario municipalities for meeting their conservation goals and objectives.

In summary, designation of an HCD benefits property owners and the community at large by:

- Increasing community stability;
- Protecting and managing heritage resources (buildings and structures, cultural landscapes, areas of archaeological potential, associative values);
- Providing information and guidance to property owners for maintaining and enhancing their properties;
- Making the area eligible for financial assistance for conservation work from municipal, Provincial or federal sources, if and when available; and
- Fostering promotion of the area's assets through interpretation (such as walking tours, interpretive media).

2.2 Statement of Cultural Value or Interest

The *Heritage Act* also requires proposed HCDs to provide a summary of the proposed district's heritage attributes. From the District Study, it is recognized that the character of the study area conforms to the characteristics of heritage conservation districts, as defined by the Ministry of Culture in the Ontario Heritage Tool Kit, in the following ways:

- A concentration of heritage buildings, sites, structures, designed landscapes, natural landscapes that are linked by aesthetic, historical and socio-cultural contexts or use.
(the study area has most of these and is itself a designed landscape)
- A framework of structured elements including major natural features such as topography, land form, landscapes, water courses and built form such as pathways and street patterns, landmarks, nodes or intersections, approaches and edges.
(the study area is defined by a radial street pattern within a square, at the centre of which is a landmark building and major public open space)
- A sense of visual coherence through the use of such elements as building scale, mass, height, material, proportion, colour, etc. that convey a distinct sense of time or place.
(the study area is a compact downtown core of mainly three storey brick 19th C. commercial and civic buildings)
- A distinctiveness which enables districts to be recognized and distinguishable from their surroundings or from neighbouring areas.
(the radial pattern of streets and blocks and the uses within it are, for the most part, visually, culturally and historically distinct from adjacent districts).

Although properties within the “square proper” have been altered over time, those west of the central Square have had fewer changes than those to the east. In part this is due to the historical pattern of predominantly commercial development to the east and predominantly residential development to the west. Despite demolitions of many buildings in the 20th century and following the tornado, the built form of properties within the study area still retains many heritage resources and provides a coherent collection of representative properties from almost two centuries of the town's development.

SUMMARY STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

This is the historic core of Goderich, contained within a formal square and defined by a radial street pattern emerging from an octagonal central public space. The area has value because of properties that represent key stages in the town's development, because the area is relatively unspoiled and intact, and because it offers a high concentration of some of the best buildings and commercial, residential and institutional streetscapes in Goderich. The area's heritage value lies both in its collection of individually important properties and in its combination of these resources within a compact, inter-woven urban form.

Summary of Heritage Attributes of the "Square Proper"

- Unique radial street pattern (defined as "designed" - Ontario Heritage Tool Kit: HCD section)
- Significant historical associations
- Landmark public and commercial buildings
- Central octagonal public park with Court House
- Concentration of late 19th and early 20th century commercial buildings framing the octagon and lining the first blocks of side streets
- High quality residential streetscapes
- Historic views and vistas
- Consistent 1-3 storey building massing and buildings materials (predominantly brick and wood)
- Two existing Heritage Conservation Districts
- Several designated properties, with others included on the Town Register or eligible for inclusion

2.3 Description of Heritage Attributes of HCDs and of Properties (by sub-district, not individual)

2.3.1 The Square

The ca. 1982 Heritage Conservation District Plan for the Square included detailed descriptions of the architectural/heritage character of each block that faced the courthouse park. Each block was numbered: the text below renumbers the blocks to run clockwise from Colborne. The following is a summary of the defining characteristics, as updated to reflect changes since that time.

Block 1: Colborne-North (ca. 1870)

- Upper façade with symmetrical massing of two 3 storey end buildings enclosing six 2 storey buildings creating an harmonious whole

THE SQUARE



- Unified architectural style thanks to consistent use of brick and even rhythm of window openings surmounted by a modulated brick cornice
- Architectural detailing including a repeated use of similar stone lintels and projecting keystones, brick pilasters and window voussoirs

Block 2: North-Hamilton (ca. 1870-1880)

- Georgian style of surviving structure closest to North Street (the corner building was demolished and redeveloped following the tornado)
- Highly decorative style of the building at the Hamilton Street corner
- Architectural detailing including window voussoirs, lintels and keystones, brick pilasters and decorative cornices

Block 3: Hamilton-East (ca. 1880-1910)

- Consistent use of brick
- Even rhythm of window openings surmounted by a modulated brick cornice
- (buildings towards East Street corner rebuilt following tornado damage)

Block 4: East-Kingston (ca. 1880?/1969)

- Consistent use of brick
- Even rhythm of window openings surmounted by a modulated brick cornice
- (the majority of this block was demolished following the tornado: the Bank of Montreal building on the East Street corner was not assessed as having heritage value)

Block 5: Kingston-South (1896)

- Uniform architectural treatment creating an harmonious whole
- Consistent use of brick
- Evenly proportioned and designed window openings; barrel-arched windows at the ground floor
- Modulated brick cornice
- Corner cupola

Block 6: South-Montreal (1888; 1959)

- Consistent use of brick (alternating buff and red) and raised brick banding

- Rhythm of window openings with moulded heads and projecting keystones
- Architectural detailing on a projecting cornice with brackets
- (the one storey building on the South Street corner was not assessed as having heritage value)

Block 7: Montreal-West (ca. 1960s)

- (there are no buildings in this block that were assessed as having heritage value: the original 1880s 2 1/2 storey building at the Montreal Street corner was demolished following the tornado but has been rebuilt in a manner that essentially replicates the style and massing of the former building)

Block 8: West-Colborne (1875; 1895-7)

- Consistent use of brick (buff and red)
- Rhythm of window openings surmounted by a modulated brick cornice
- Architectural detailing such as decorative brick designs (jewellery store) and semi-circular window openings (ground floor) and projecting horizontal brick courses (CIBC bank)
- (the Park Theatre, including its sign and marquee, was not assessed as having heritage value at the time)

Block 9: Courthouse Park (1856)

- (note: the landscape of the park was not assessed and heritage attributes were not described at the time)
- Current attributes of the Park would include those elements retained, restored or added following the extensive damage caused by the tornado:
 - mature and semi-mature trees and shrubs
 - park furniture (benches, planters, signage, lighting)
 - ornamental fountain
 - outdoor performance space
 - war memorial and plaques

Note also that there was no description and evaluation of the character of the rest of the public realm, such as the streets and views/vistas that are cultural landscape resources. Key elements of the current setting of the Square would include:

- Vistas into the Square (of the Courthouse and park) from the radiating streets
- Vistas along East Street of the railway station

- Vistas along West Street towards the lake
- Vistas along Montreal Street of the Carnegie Library
- Vistas along Hamilton Street of the Bradley Block
- Vistas along Kingston Street of the Legion
- Constantly changing angular views as one circles the “Square”
- The breadth of the street compared to the width of each radiating street
- Community events (e.g. markets, holiday and Remembrance Day) and activities
- Associations with origins of Goderich

Summary Statement of Cultural Heritage Value or Interest

This unique octagonal layout contains a major public space (park and Court House) and is bounded by a somewhat intact late 19th century commercial streetscape, from which radiates a formal street pattern.

Summary of Heritage Attributes

- Surviving 19th and early 20th century buildings
- Generally uniform massing, heights, materials and setbacks
- Radial street pattern
- Octagonal layout
- Central park with Court House
- Wide streets (99’ on perimeter street and major radiating streets; 66’ on minor radiating streets)
- Associations with Canada Land Company

2.3.2 West Street

The 1992 West Street HCD plan included descriptions of each building within the District that included summaries of heritage attributes. The following is a summary of the defining characteristics, updated to reflect changes that have occurred since that Plan was prepared.

North Side (Waterloo Street to Courthouse Square: 1870s-1910s; 2012)

- (#s 68-56 demolished and replaced following tornado damage; rest of buildings repaired)
- 2-3 storey height predominant
- Consistent use of brick
- Chimneys are a consistent skyline element
- Semi-circular or flat window openings with brick voussoirs and keystone, decorative brick banding and cornices
- Landmark buildings: 36-38 (McCauley), 40-42 (Cornish), 46 (Lyons/Mulhern), 50 (Reaume)

WEST STREET



South Side (Courthouse Square to Waterloo Street: 1860s-1970s; 2012)

- 2-3 storey height predominant
- Variety of cladding materials (frame, brick and stone)
- Semi-circular or flat window openings with brick voussoirs and keystones, decorative brick banding and cornices
- Variety of rooflines (flat, gable), some with decorative elements (finials, arches, iron cresting)
- Chimneys are a consistent skyline element
- Landmark buildings : 37-39 (Masonic Hall), 49 (Culbert's), 57 (Town Hall)
- (former police station a #65 demolished and replaced by Town Hall addition: Masonic Hall rebuilt after tornado, other buildings repaired)

Summary Statement of Cultural Heritage Value or Interest

This early extension of the downtown core was an important link to the harbour and railway station and contains some of the Town's earliest commercial and institutional buildings.

Summary of Heritage Attributes

- Concentration of important early commercial and institutional buildings
- Associations with the early commercial development of Goderich

RESIDENTIAL QUADRANTS



2.3.3 Residential Quadrants

(Note: these are the areas outside the two HCDs and are bounded by North, Nelson, Waterloo and Market Streets)

The streets comprising this part of the study area share common characteristics, although a few have distinct features (note that some single family dwellings have been converted to multiple occupancy or commercial use). There are important vistas to and from the Square and west along Elgin:

Nelson Street (Waterloo-North):

- North side: mixture of residential, from smaller single family dwellings on small lots to large lots with large residential dwellings, with some lots elevated with deep setbacks; significant concentrations of mature street trees
- Landmark building at mid-point of block (large house, deep setback on large lot with mature trees)
- Landmark church anchors east corner

Colborne Street (Waterloo-Square):

- Northeast side: large single family dwellings on large lots, raised above street level as street drops to NW
- Southwest side: smaller single family dwellings on smaller lots

Church Street (Nelson-Colborne):

- West side: large vacant lot and large side yards of flanking dwellings
- East side: large single family dwellings on small lots

North Street (Nelson-Square):

- West side: large single family dwellings on small lots
- East side: mixture of large single family dwellings and large institutional buildings, on small lots

Waterloo Street (Nelson-Elgin):

- West side: mixture of small and large single family dwellings on large lots, with the exception of the large house on a large lot at the Nelson intersection
- East side: large single family dwellings on large lots; commercial/institutional buildings flanking West Street

St. Patrick Street (Waterloo-Colborne):

- North side: large single family dwellings on small lots
- South side: small single family dwellings on small lots

Lighthouse Street (Waterloo-Montreal):

- North side: large single family and multiple-unit dwellings on small lots, large parking lot on east end
- South side: small single family dwellings on small lots, library dominates east end

Montreal Street (Waterloo-Lighthouse):

- Northwest side: large single family dwellings on small lots, library dominates north end
- Southeast side: large institutional and single family dwellings on small lots

DOWNTOWN COMMERCIAL CORE



Market Street (Elgin-Montreal):

- West side: large single family dwellings on small lots
- East side: large single family dwellings on small lots

Elgin Avenue (Waterloo-Market):

- North side: large single family dwellings on large lots
- South side: mixture of small and large single family dwellings on small lots

Summary Statement of Cultural Heritage Value or Interest

These primarily residential areas have a variety of late 19th and early 20th century houses and are representative of the high quality of residential construction and design evident in oldest parts of Goderich.

Summary of Heritage Attributes

- Mature street trees on boulevard strips (and many new trees replacing those lost in the tornado) creating a canopy over the sidewalk
- Mature trees in side and rear yards defining the skyline
- Houses with shallow to moderate setbacks from the street
- Generous side and rear lots with ornamental landscape plantings
- Key civic buildings (library, churches)
- Angular views towards, between and behind buildings at the intersections of radial streets
- Views towards and from the Court House Square

2.3.4 Downtown Commercial Core

The area east of North and Market Streets has a largely commercial character: it has also undergone the most significant changes due to redevelopment following demolitions resulting from changing land uses and tornado damage. There are important vistas to and from the Square.

Nelson Street (North-Victoria):

- North side: mixture of large and small single family dwellings on large lots, gas station terminates east end; significant concentrations of mature street trees
- South side: mixture of institutional and small single family dwellings on small lots

St. Andrew Street (Nelson-Hamilton):

- West side: mostly vacant, small single family dwellings on small lots at north end
- East side: small and large single family dwellings on small lots, large commercial building anchors south end

Hamilton Street (Nelson-Square):

- Northwest side: small commercial buildings and single family dwellings on small lots, built to the street line, large commercial building (53) anchors south end, memorial anchors east end
- Southeast side: mostly vacant, small commercial buildings built to the street line

Newgate Street (Victoria-Hamilton):

- North side: mostly vacant, small single family dwellings on small lots
- South side: mixture of small commercial buildings and single family dwellings on small lots, built to the street line

Victoria Street (Nelson-Elgin):

- West side: mixture of small and large single family dwellings on small lots; church anchors corner at East Street, service commercial uses terminate the north and south ends
- East side: mixture of large single family dwellings on small lots and strip commercial buildings; Victoria Park anchors the north end, with service commercial terminating the south end

East Street (Victoria-Square):

- North side: mixture of small and large commercial buildings built to the street line, church anchors east end on a large lot with deep setbacks
- South side: small single family dwellings on east end; row of commercial buildings in the middle, built to the street line, detached commercial building with deep setback at west end with single storey bank on the corner

St. David Street (Victoria-Kingston):

- North side: large single family dwellings on east end; detached large commercial building in middle surrounded by parking; vacant lot to the west

- South side: vacant lot at Victoria (site of demolished church following tornado); large single family dwelling and commercial building, built to the street line

Kingston Street (Victoria-Square):

- Northeast side: vacant lots on west end (site of demolished commercial buildings following tornado), commercial buildings in centre, built to the street line, strip commercial building terminates intersection at Victoria
- Southwest side: vacant lots in the middle; strip commercial buildings terminates intersection at Victoria

Stanley Street (Elgin-Kingston):

- West side: parking lot at north end; small single family dwellings on small lots with shallow and large setbacks; large house on large lot anchors south end
- East side: Legion anchors north corner; rest of block is a vacant lot

South Street (Elgin-Square):

- West side: small single family dwellings on small lots with shallow and large setbacks
- East side: hotel and theatre anchor north end; small commercial building and parking lot in middle; small single family dwellings on large lots at south end

Elgin Avenue (Market-Victoria):

- North side: small single family dwellings on small lots and small commercial buildings built to the street line; parking lots and strip commercial buildings terminate the east end
- South side: large single family dwellings on small lots, with mature street trees; commercial building with large parking lot terminates east end

Summary Statement of Cultural Heritage Value or Interest

The eastern half of the downtown core contains a mix of residential, commercial and institutional buildings and shows evidence of the evolving pattern of development in the downtown.

Summary of Heritage Attributes

- Representative examples of commercial and institutional buildings from the late 19th to the late 20th century
- Variety of modest to substantial residential properties around perimeter, with mature plantings

2.4 HCD Boundary and Maps

The Provincial Tool Kit outlines criteria for determining a boundary. They include:

- Historic factors
- Visual factors
- Physical features
- Legal or planning factors

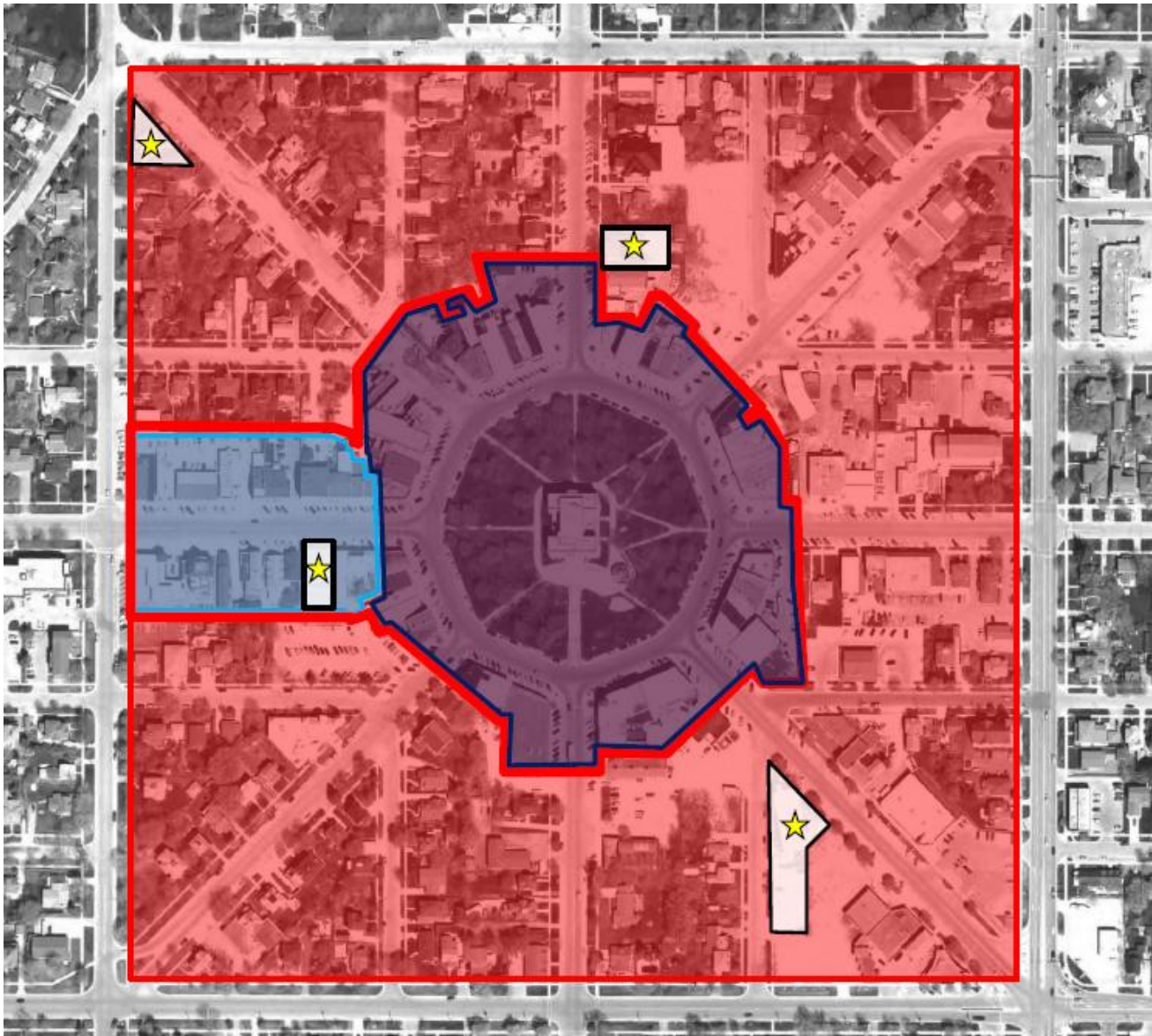
The proposed boundary addresses the Provincial criteria for boundary delineation as follows:

- Historic factors: incorporates the radial pattern of streets and blocks and the two existing HCDs
- Visual factors: includes the radial pattern of streets and blocks
- Physical factors: uses major changes in land use and building type to define its edges
- Legal or planning factors: follows the general boundaries of the downtown land use areas in the Official Plan and in the Downtown Master Plan

In implementing the proposed District boundary, the proposed boundary that is outside of the boundaries of the two existing HCDs be designated as a separate district. Within the two existing HCDs, there will be minor amendments to the existing District boundaries. For the Square HCD, the boundary will be adjusted to include entire properties in the few instances where only a portion of a property is included (this meets the requirements of the *Ontario Heritage Act*). For the West Street HCD, the boundary will be adjusted to include the properties that had opted out at the time of the passage of the designating by-law, thus making all properties within the boundary part of the HCD.

The result will be three HCDs – the two existing Districts and a new District surrounding them- that will preclude the Town having to rescind the designations of the two existing Districts. Changes to the existing HCD boundaries will require minor amendments to both designating by-laws while the new HCD will have its own designating by-law. This approach has been recommended by heritage staff of the Ministry of Tourism, Culture and Sport, and is supported by the Town’s legal counsel. The HCD Plan will apply to all three Districts, with appropriate guidelines prepared for each.

Note: Town Council has allowed 4 property owners to have their properties excluded from the proposed District.



-  Proposed District Boundary
-  West Street Heritage Conservation District
-  The Square Heritage Conservation District
-  Properties Excluded from District
 - 83 Colborne Street/62 Waterloo Street North
 - 56 Kingston Street
 - 44 North Street
 - 37-41 West Street

2.5 Conservation Goals and Objectives

The goal is to designate the downtown Goderich study area – the “square proper” - as three Heritage Conservation Districts under Part V of the *Ontario Heritage Act*, within the overall boundary proposed in the Heritage Conservation District Study and shown on the map provided in the previous section.

The overall policy objectives for conservation in the proposed District are:

- To provide policies, guidelines and associated regulatory procedures that will serve to guide change in ways that conserve and enhance the heritage attributes of the District;
- To preserve and encourage the conservation of existing cultural heritage resources;
- To preserve and enhance streetscapes so as to maintain the character of the District; and
- To promote an increased awareness of heritage value in the District.

More detailed goals and objectives for conservation and development within the District are provided below.

To the average property owner, these goals and objectives may seem abstract. So, put another way, the point of designation is to make the District better by maintaining and improving what is there now, and by adding new construction that fits in and is of comparable (or better quality). “Conservation” is the term used in heritage planning, but the main emphasis in heritage conservation districts is on *rehabilitation*. This means that construction activity in the district is encouraged to do several things:

- Help to find economic uses for existing buildings;
- Help property owners improve their buildings and sites;
- Attract investment that accomplishes these goals; and
- Do all of this by highlighting the heritage attributes of the district and of individual properties.

The District designation process required by the *Ontario Heritage Act* and described in the Ontario Heritage Tool Kit stipulates that a District Plan must contain goals and objectives for the proposed District. The following specific goals and objectives provide a framework for the ongoing conservation of downtown Goderich’s material heritage resources, including built heritage resources, cultural heritage landscapes, and areas of archaeological potential, as well as non-material resources, such as historical associations and the mixed use character of the District. They are integral to the planning policies and design guidelines provided by this HCD Plan and set out what is to be accomplished by District designation.

2.5.1 District

Goals and objectives for the District as a whole are:

Goal: To conserve, enhance and appreciate the heritage attributes of the Goderich HCDs by:

- Providing a rationale and boundary for the District that includes the essential heritage attributes of the District, as defined in the HCD Study and Plan;
- Supporting and encouraging the conservation and rehabilitation of the District's heritage attributes;
- Continue the process of identifying heritage attributes within the HCDs;
- Providing guidance for ongoing maintenance and alteration so that the heritage attributes of the District are retained and, whenever possible, enhanced;
- For adjacent properties to the HCD boundaries, applying Policy 2.6.3 of the Provincial Policy Statement whenever there is an application for site alteration or development on lands adjacent to the HCDs; and
- Encouraging community awareness of and support for conservation of the District's heritage attributes and for appropriate conservation practices.

Goals and objectives for the major components of the District are:

2.5.2 Landscape/Streetscape

Goal: To maintain and enhance the visual, contextual and functional character of the Goderich HCDs' streetscapes and public realm by:

- Retaining and conserving existing street trees and instituting an ongoing program of street tree replacement, in consultation with Town staff and following the recommendations for tree selection and care found in the Downtown Master Plan;
- Preserving the existing pattern of blocks, streets, and lanes;
- Encouraging replacement by compatible new development of properties containing non-heritage buildings or structures using the guidelines of this Plan;
- Encouraging property owners to retain and conserve existing trees on private property;
- Conserving and enhancing existing public open space;

- Preserving views along existing streets of landscape and built features, especially views down to the lake and to landmark buildings; and
- Ensuring that municipal improvements to public infrastructure in the District’s public realm, such as upgrades to public utilities, roadways and sidewalks, conserve the heritage character of the District as defined in the Downtown Master Plan and this Plan.

2.5.3 Heritage Buildings

Goal: To conserve and enhance the existing built heritage resources and protect them from inappropriate changes or demolition by:

- Retaining and conserving heritage buildings identified in the District Study;
- Fostering continuing use of heritage buildings rather than demolition and replacement;
- Using the provisions of the *Ontario Heritage Act* to control the demolition or removal of heritage buildings or structures;
- Pursuing all measures available to the municipality to prevent demolition or removal of heritage buildings or structures;
- Conserving heritage buildings or structures by using the accepted principles and standards for heritage conservation, as outlined in this Plan;
- Encouraging retention and restoration of character defining elements of heritage buildings, based on archival and pictorial evidence and the assessment provided in the District Study and, where feasible, to remove incompatible past alterations made to heritage buildings;
- Encouraging property owners to maintain the character defining elements of the exteriors of heritage buildings to prevent deterioration as well as damage from fire or the elements;
- Providing additional protection to significant heritage resources within the District. Encouraging property owners and tenants to regard themselves as stewards of their buildings and of the history that such properties represent, as a legacy for the future;
- Providing conservation and development guidelines and best practices, for property owners to use in undertaking appropriate maintenance, repair and new construction; and
- In the event of buildings being lost due to natural disaster or accident, ensuring that replacement structures follow the policies and guidelines of the HCD Plan.

2.5.4 Regulatory Process

Goal: To ensure that the regulatory process for managing the HCDs is clear, objective and efficient and to realize community and economic benefit from the conservation and interpretation of the Districts by:

- Providing an application for alteration process that is easy for the public to use and can be undertaken by Town staff and the Municipal Heritage Committee;
- Clearly identifying the types of alterations that do and do not require an application for alteration;
- Fostering understanding, appreciation and pride in the HCDs amongst local residents and the community at large;
- Using interpretation, programming and public education to promote conservation values for future generations;
- Offering assistance and, where feasible, financial incentives, to property owners within the HCDs in the conservation of their properties; and
- Interpreting and promoting the heritage character of the HCDs in order to foster cultural tourism, provided that such initiatives do not negatively impact the heritage attributes of the HCDs, as identified in this HCD Plan.

2.6 Conservation and Development Policies

The Town can use a variety of heritage policy tools to foster conservation and compatible development in the HCDs. These are, in descending order, the policies of the Provincial Policy Statement and the County of Huron Official Plan as they affect cultural heritage resources, the heritage policies of the Town of Goderich Official Plan and Zoning by-law and, in this instance, the Heritage Conservation District Plan. Other legislative tools are found in the Municipal Act as well as in the Town's own demolition control by-law, and property standards by-laws, as well as cash-in-lieu of parking by-laws. Site Plan Control provisions apply to some forms of development in Heritage Districts, while all construction must meet the provisions of the Ontario Building Code, which has been progressively updated over the years to take into account the special conditions found in older structures. Finally there are easements and covenants, held by the Ontario Heritage Trust, which can be applied to properties within the District. Of these, Site Plan Control is an especially good means of controlling exterior changes to properties, such as building and landscape elements, while tools such as Community Improvement Plans can establish ways of providing tax incentives for heritage work.

From this summary it is clear that the *Ontario Heritage Act* and the *Planning Act* are powerful policy tools on their own.

When used in conjunction, however, they provide the Town with all of the necessary means to manage conservation and new development within the Heritage Conservation Districts.

In order to meet the goals and objectives of this HCD Plan, specific policies are to be followed by the Town in regulating changes within the HCDs. The policies are in several categories, each addressing a specific issue affecting the evolution of the HCDs:

- District as a whole
- Landscape/streetscape
- Heritage buildings
- Regulatory process

Guidelines providing ways to address these policies are found in **Section B** of this Plan.

2.6.1 District Policies

- a.) The distinct heritage character of the downtown core, as defined in the three HCDs, shall be maintained and enhanced.
- b.) Where development as part of a planning application is proposed adjacent to the boundaries of the three HCDs, the policies of Section 2.6.3 of the Provincial Policy Statement shall apply, and Council may require a heritage impact statement to be prepared by the proponent of any such development in order to assure that the heritage attributes of the HCDs will be conserved.
- c.) Ongoing monitoring of the effectiveness of the District Plan shall be undertaken by the Town, as will the process of updating the inventory and evaluation of properties within the Districts.
- d.) The Town shall undertake a program of public education regarding designation, new development and the conservation process, and shall provide training for staff and volunteers for implementing the District Plan.
- e.) Future amendments to the Town Official Plan and Zoning By-law shall be in accordance with the policies and guidelines of the District Plan.

2.6.2 Landscapes/Streetscapes

- a.) Proposed infill development, as part of a planning application, shall be designed in conformity with the policies and guidelines of the District Plan.
- b.) Heritage attributes of landscapes and streetscapes, as defined in the District Plan, shall be conserved and enhanced following the policies and guidelines of this Plan. The existing radial street pattern shall be retained as shall the existing street rights-of-way widths.

- c.) New development on vacant or under-used properties within the District shall be encouraged, providing that it conforms to the policies and guidelines of the District Plan.
- d.) Provision of parking and access within the HCDs shall have regard to guidelines of the District Plan and the Downtown Master Plan.
- e.) The Town shall ensure that all public works undertaken within the HCDs conform to the policies and guidelines of the District Plan and the Downtown Master Plan.

2.6.3 Heritage Buildings

- a.) Demolition of heritage (contributing) properties, as defined in the District Plan, shall not be permitted except as a last resort, and rehabilitation of the existing structure will be encouraged. Where, by Council decision, buildings must be demolished for reasons of health and safety due to fire, natural disaster or other reasons, the replacement structure shall be designed in conformity with the policies and guidelines of the District Plan.
- b.) Where a demolition has been approved by Council, the property shall be documented in written/photographic form, for deposition in the County Museum, and consideration given to salvaging buildings materials, where possible, for reuse on site or on other properties in Goderich.
- c.) Enforcement of the Town's property maintenance by-law shall be consistently undertaken by Town staff within the District and shall, in addition to the standards found in that by-law, have regard for the guidelines found in the District Plan.
- d.) Council shall maintain the individual designations for properties under Part IV of the *Ontario Heritage Act*, and shall consider designating other significant heritage buildings (including interior elements), as identified by further study.
- e.) All alterations and conservation work requiring an application for alteration, as defined in the District Plan, shall be undertaken in accordance with the policies and guidelines of the District Plan. Maintenance and minor alterations, as defined in the District Plan, shall have regard for the policies and guidelines of the District Plan.

2.6.4 Regulatory Process

- a.) Maintenance and minor alterations, as defined in the District Plan, shall be permitted on properties within the three HCDs.
- b.) Major alterations and additions, as defined in the District Plan, shall require an application for alteration (heritage permit) and be subject to the approval process described in the District Plan.

2.7 Managing Risk

Goderich is especially sensitive to the possibility of catastrophic change since its downtown was devastated by a tornado in August, 2011. Whereas, in the past, the town lost groups of buildings to fire or demolition, the scale and severity of the tornado damage has made the municipality conscious of the need to have in place policies and procedures that will assist it preparing for potential disasters and in organizing and expediting the recovery process. Rebuilding after loss is important not only to restore morale and economic vitality: it is also essential in restoring the heritage character of the damaged area. Using the policies and guidelines of the District Plan, the rebuilding process can be assured of doing so.

The process for preparing for, and dealing with, both natural and human-made disasters has been addressed at an international level. The International Centre for the Study of the Preservation and Restoration of Cultural Property (ICCROM) published a document that provides a framework for producing a local emergency response process. Even though directed at World Heritage Sites, the 1998 publication entitled “Risk Preparedness: A Management Manual for World Cultural Heritage” has principles and practices that are applicable to municipalities. General guidelines applicable to Goderich are found in Chapter 10 and include those for advance planning, for responses during an emergency, and for the recovery period afterwards.

Guidelines for advance planning include the following:

Documentation of Existing Heritage Resources

- Identification of cultural resources within the HCDs that would require special care in an emergency (e.g. architectural details, cultural landscape elements);
- Evaluation of cultural resources to determine heritage attributes (if not already undertaken);
- As-found documentation of cultural resources (buildings, landscapes, archaeological sites) sufficient to allow reconstruction or replacement;
- For built heritage resources, ongoing provision of information to technical professionals (e.g. architects, engineers, skilled trades) in traditional techniques of construction useful in reconstruction or replacement; and
- In the case of built heritage resources and cultural landscapes damaged in a disaster (e.g. in the tornado), documentation of the response (e.g. repair/reconstruction/replacement) and recording of lessons learned. In the case of Goderich, in addition to actions undertaken by the municipality, this would also entail an assessment of the actions of various outside agencies, such as the

Ministry of Labour, and of volunteer groups and individuals, as well as the effects of adverse weather on physical settings in the crucial period immediately following the tornado.

Risk Analysis

- Determination of the types of threats most likely to affect the cultural heritage resources within the HCDs (hazards), the degree of threat (vulnerability) and the resulting level of risk (hazard vulnerability);
- Identification of the portions of properties that would be most vulnerable to damage, and making recommendations for reducing potential damage;
- Assessment of municipal services, including public and private building substructures, that could be vulnerable, and making recommendations for their protection;
- Identification of the most common emergencies that could be expected on properties within the HCDs, and mapping of areas having the most risk; and
- Acquisition of insurance to cover risk (public and private property), to cover all hazards to address liability for emergency response activities and post-emergency reconstruction work.

Emergency Response Plans

- Compilation of a list of qualified emergency response specialists, available for various aspects of response, including salvage/conservation rescue (e.g. heritage architects and landscape architects, skilled tradespeople, project managers, materials suppliers) and keeping the list current.

Mitigation in Advance of Disasters

- Retrofitting of vulnerable built heritage resources (and, where possible, cultural landscapes) to add strength/cover to resist stresses (e.g. structural reinforcement, flood-proofing);
- Provision of storage space and conservation measures for moveable heritage resources in the event of an emergency (e.g. archival storage); and
- Provision of information on mitigation techniques and measures.

Financial Measures

- Provision, in the municipal budget and budgets of private property owners, of emergency funds for immediate response and for long-term repair and restoration of cultural heritage resources.

The report includes guidelines for responses that will be needed during an emergency. These include:

- Creation of an emergency response team of conservation professionals whose job it is to assess and document the impacts of the disaster and to recommend/provide:
 - Short-term measures for stabilization security and safety;
 - Priorities for long-term repair and restoration;
 - Assessments of instances of imminent loss and loss; and
 - Identification of needs for further survey.

The report ends with guidelines for responses that would be suitable in the period following the disaster. These include:

- Rebuilding and reconstruction activities:
 - Understanding and application of appropriate conservation principles standards (i.e. the Parks Canada “Standards and Guidelines for the Conservation of Historic Places in Canada” and the policies and guidelines of the District Plan);
 - Implementation of the heritage permit application process found in the District Plan;
 - Ongoing information programs for those undertaking repair and restoration activity, based on the guidelines of the District Plan;
 - Identifying and confirming suitable suppliers of materials and skills, using the list compiled in the emergency response plan;
 - Identifying components of damaged properties that continue to be safe to use, based on the report of the emergency response team, and including inspection of municipal serving infrastructure; and
 - Post-disaster monitoring of the effectiveness of the response measures, and recommendations for improvements to existing emergency response guidelines.



■ Part 2

District Guidelines

3. Introduction



3.1 Purpose

These guidelines are the means by which the District goals and objectives and policies in Part 1 are implemented in actual changes to the physical setting. They are intended to help downtown property owners and the municipality care for and enhance the best qualities - or heritage attributes - of the Districts. They are meant to support the good work already being done and to provide information and encouragement to improve work planned for the future. Design guidelines are the benchmark against which applications for alterations are measured and enforced by the municipality. They are meant to encourage the types of renovation work that emphasizes the character of each property and of the District as a whole.

Guidelines for proposed changes in a Heritage District are needed because downtowns are in a constant state of flux, responding to changes in ownership and use, upgrades to urban infrastructure, and evolving economic conditions. Pressures for change come in many forms, from a desire to serve emerging markets to the need to repair and maintain an aging structure. In considering how to make changes, there is always the allure of the new and a tendency to take the existing setting for granted. In this context, the characteristics of the Districts that are valued by the community can be at risk. Poor planning, loss of buildings to fire or neglect (or disaster), and new infill that is out of character, all can degrade the Districts.

Instead, the purpose of the District Plan is to ensure that property owners' first response to the need for change will be to choose building designs, materials and construction methods that are in harmony with the Districts' heritage attributes. Guidelines in the District Plan are the principal means of maintaining the Districts' integrity and achieving a balance between preservation and new development.

In an urban setting, managing change is all about context. Determining the best way to alter the existing setting requires an understanding of the qualities of the setting, from the nature of the buildings next door to the patterns evident in the streetscape and the character of the District as a whole.

3.2 Role of Guidelines

After designation, it is the responsibility of the Town of Goderich to manage conservation activity in the Heritage Conservation Districts. Aside from the **policies** described in **Section 2** (above), the main method by which the municipality can control change in the Districts is through the use of **guidelines**. As the term suggests, guidelines provide information so that those proposing changes do so with the benefit of the best advice. As part of the District Plan, they are adopted by Town Council by by-law and are the primary source of information for that decision-making body. Guidelines not only assist Council; they also offer advice to property owners and the general public as well as provide information for Town staff and for members of Municipal & Marine Heritage Committee. Guidelines provide more detail than policies and can offer optional approaches to the same proposed work. While they identify incompatible changes to be avoided, they are not restrictive as long as the proposed work conserves or enhances the heritage character of the Districts.

For properties within the Districts that are individually designated under Part IV of the *Ontario Heritage Act*, or have easements and covenants held by the Ontario Heritage Trust, the more specific (and, sometimes, more restrictive) provisions of the designating by-laws or easements apply. Some of these properties are municipally owned, otherwise, private owners should consult with the Town before considering alterations.

3.3 Guideline Principles

A main goal of designation is to keep and enhance the experience of daily life in the Districts. The primary way to accomplish this is to ensure that the best parts are maintained and that changes don't detract from their character and, ideally, make the place better. Conservation is simply good stewardship of something the community values. It is a universal activity and, as such, is governed by universal principles. The guidelines in this Plan are based on conservation "best practices" as used in Ontario, Canada and abroad¹.

1- The key background documents that provide the basis for these guidelines include:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2nd ed. 2010 www.historicplaces.ca

Standards & Guidelines for Conservation of Provincial Heritage Properties, Ontario Ministry of Tourism and Culture, 2010 www.mtc.gov.on.ca

Ontario Heritage Tool Kit, Ontario Ministry of Tourism and Culture, 2006 www.mtc.gov.on.ca

Venice Charter, ICOMOS International, 1963/1996

Well-Preserved: the Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation, Mark Fram, Boston Mills Press, 2003 (Third Edition)

InfoSheets, Ontario Ministry of Tourism and Culture www.mtc.gov.on.ca

A commonly-used summary of universal best practices can be found in the Ontario Ministry of Tourism, Culture and Sport's "Eight Guiding Principles in the Conservation of Historic Properties", all of which emphasize respect for original/historic material:

1. *Respect for Documentary Evidence* (do not base alterations on conjecture)
2. *Respect for Original Location* (avoid moving buildings unless there is no other way to conserve them)
3. *Respect for Historic Material* (repair/conservate rather than replace building materials and finishes, except where absolutely necessary)
4. *Respect for Original Fabric* (repair with like materials)
5. *Respect for the Building's History* (do not restore to one period at the expense of another period or periods)
6. *Reversibility* (alterations should allow a return to the property's original conditions)
7. *Legibility* (new work should be distinguishable from old)
8. *Maintenance* (with continuous care, future repair/restoration may not be necessary)

These principles are a good starting point, but more specific best practices are needed that will give necessary detail. Accordingly, in order to provide the most consistent and comprehensive information to guide change in the Districts, all of the following guidelines are based on the Parks Canada *Standards and Guidelines* (2nd ed. 2010). **For each guideline found below, first refer to the General Standards for all projects found in the Parks Canada document, then to the additional standards for rehabilitation and restoration provided in this Plan. Use the Standards and the District Plan guidelines in tandem.** This will prevent the District Plan guidelines from being overly long and avoid duplication of recommendations that are well explained and illustrated in the *Standards*.

When considering any proposed changes ("alterations") to properties in the Districts, property owners should ask four key questions:

1. In what ways will the proposed alteration affect the overall character of the streetscape of the District?
2. Is it possible to find ways to shape an alteration to maximize the extent to which it enhances the heritage character of the district?
3. What will be the impact of the proposed alteration on the property's character defining elements/heritage attributes?
4. Is it possible to find ways to shape the proposed alteration to minimize that impact?

Keeping these questions in mind will help make the conservation and rehabilitation process as straightforward as possible.

3.4 Definitions

Knowing exactly what is being affected by District designation is important, and defining these elements is a key part of the guidelines. There are several terms that recur in these guidelines. Some have meanings agreed upon at a national level, while others are municipally defined or defined in the context of this Plan.

The following key terms are defined in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2nd ed. 2010):

Conservation: all actions or processes that are aimed at safeguarding the character defining elements of a cultural (heritage) resource so as to retain its heritage value and extend its physical life. This may involve “Preservation,” “Rehabilitation,” “Restoration,” or a combination of these actions or processes.

Preservation: involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value.

Rehabilitation: involves the sensitive adaptation of a historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and or additions. (Note: rehabilitation contrasts with the commonly used term “remodelling” in that rehabilitation respects heritage attributes, whereas remodelling does not).

Restoration: involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value.

Note: only in the case of “preservation” – a rare choice of action – are changes to the property substantially limited. In all other cases, changes to allow the property to continue to have a useful life are to be encouraged. In other words, “conservation” in a Heritage District is not the same as “conservation” in a natural setting, in that modifications are allowed in Districts, whereas protecting the setting from change is what natural conservation aims to do.

Historic Place: a structure, building, group of buildings, district, landscape, archaeological site or other place in Canada that has been formally recognized for its heritage value (e.g. through designation as a Heritage Conservation District).

Heritage Value: the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Character-defining Element: the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value (also known as a “heritage attribute” which will be the term used in this District Plan as it accords with the Province of Ontario’s definition, found in the Provincial Policy Statement).

The following term uses a definition found in the Town of Goderich Official Plan, and will be suitable for the purposes of this Plan:

Compatible: Development that is capable of existing in harmony with, and that will not have an undue physical or functional adverse impact on existing or proposed development in the area, or pose an unacceptable risk to environmental or human health. Compatibility should be evaluated in accordance with measurable, objective standards based on criteria such as aesthetics, noise, vibration, dust, odours, traffic safety and sun-shadowing, and the potential for serious adverse health effects on humans and animals.

For the purposes of this HCD Plan, and with their main focus being on physical settings, the Plan policies and guidelines constitute the criteria described in the above definition.

The following terms are defined in the context of this HCD Plan:

Alteration: whereas in the *Ontario Heritage Act* this term means any “change in any manner and includes to restore, renovate, repair or disturb”, in the context of this Plan, an alteration is any proposed change to the property that would require an Application for an Alteration.

Enhance: In the context of this Plan, it is proposed that “enhance” be taken to mean “to heighten the character of a building and its surroundings, in ways relating to the heritage attributes/character defining elements of the property as well as of the sub-area in which it is located”.

4. Conservation of Built Heritage Resources



4.1 Conservation Process

As explained above, the main reason to designate a district is to conserve its heritage resources. Conservation within a District involves careful attention to the area's (and the property's) heritage attributes while encouraging positive change. Conservation of built heritage resources covers the three main approaches to conservation described in the definition above. Within these three approaches, the Parks Canada *Standards and Guidelines (2nd ed.)* provide a comprehensive summary of the steps necessary to conserve heritage properties. The document begins with a set of overall standards governing all types of conservation work, followed by detailed guidelines that provide options for specific conservation projects. Based on that document, the main components of the conservation process can be summarized below, in three major steps:

- Step One: Understanding
 - Refer to the property descriptions in the heritage inventory to determine the heritage value and any heritage attributes/character-defining elements of the subject property (especially the facade composition, cladding and windows).
 - Check on site and document current condition and changes made over the building's history.

- Augment site investigation and the inventory with archival and oral research, where possible.
- Assess the property's relationship to the streetscape and District (especially height, setback, architectural design).
- Step Two: Planning
 - Keep or find a suitable use for the property.
 - Identify the needs of current and prospective users as well as municipal requirements.
 - Select the primary conservation process.
 - Review the standards that apply to the selected process (from the *Standards and Guidelines*).
 - Follow the guidelines for that process (from the *Standards and Guidelines*).
 - Review the proposed scope of work with the Town Planning and Building Departments to determine if a permit/application is needed.
 - Review the proposed scope of work with a (heritage) contractor to determine budget and schedule: make revisions to the proposed scope of work as required.
 - If required, submit Application for Alteration/Building Permit to the Town.
- Step Three: Intervening
 - Undertake the proposed project.
 - Do regular maintenance.

4.2 Scope of Work

The majority of work within the District will involve conservation of the existing physical fabric (for substantial conservation work, see **Section 3** for details of the heritage permit process). Maintenance, as well as rehabilitation and restoration, will be ongoing activities that are needed to retain and enhance the District's heritage attributes. As with any property, the onus is on the owner to monitor building condition and to plan for both regular and periodic work that will be needed. There are several degrees of work entailed in conserving older buildings, and one or several of these may be involved, depending upon the situation. They are:

- Protection and stabilization (where portions of a building are badly deteriorated, to stop further decay)
 - Assessing condition
 - Closing openings in the roof and walls, and filling broken windows
 - Preventing water infiltration

- Securing against structural collapse
- Routine maintenance (for special architectural features)
 - Retaining requisite contractors to do work requiring specialist skills
 - Annual monitoring of building condition
- Cleaning (periodic, using methods befitting the cladding materials)
 - Undertaken only to retard deterioration or to reveal obscured surfaces
- Reconstruction (of deteriorated or missing elements)
 - Only to be undertaken based on documentary evidence

For a schedule of ongoing conservation, refer to the following chart:

Recommended Maintenance Checklist Regarding Exterior Building Conditions				
Item	Spring	Summer	Fall	Winter
Check attic	●		●	
Check eaves trough and downspouts	●		●	
Check roof for damaged roofing materials	●		●	
Plan landscaping to avoid soil settlement and ponding	●			
Check caulking for air and water leaks	●		●	
Check & lubricate weather stripping	●		●	
Check exterior cladding	●		●	
Check windows & screens are operating properly	●		●	
Check sheds and garages		●		
Prune trees close to building (consult arborist)				●
Check fireplace & chimney			●	
Check for condensation				●
Check for ice damming				●
Check interior face of exterior walls for moisture or blistering	●			●
Check that no wood is stacked against the building.	●			
Check fencing for deterioration	●			

5. Physical Context



5.1 Downtown Character

Patterns of development in the Districts conform to the unique geometry of the street layout. The radial pattern creates many unusual parcel shapes and sizes into which buildings have been fitted. The sharp angled intersections, and the large number of street corners, create many opportunities to highlight building elements. There are examples of this in the commercial buildings. The Bradley Block is a fine example of a “flatiron” building that fits into its triangular site and creates a visual focal point when seen from Court House Square. The cupola of the Bedford Hotel provides a visual “hinge” to that street corner while the Colborne to North Street block has taller elements that provide “bookends” to that group of buildings. And, while not a commercial building, the Court House is the focal point for all views in from the adjoining streets.

The residential streets generally have fewer opportunities to celebrate this unique geometry. Buildings at the sharply angled corners tend to be set back so that fences and landscaping occupy the narrow end, although there are a few instances of porches that reflect that shape. Rather, it is institutional buildings, especially the library, that have the size and functions that suit architectural treatments that capitalize on a triangular parcel.

Along the commercial streets the buildings tend to be tightly packed, either forming continuous blocks, as around Court House Square, or as freestanding but narrowly spaced rows on the radiating streets. On the residential streets, houses are set back behind generous municipal boulevards and deep front yards, with wider spacing between buildings than is found on commercial streets. Houses co-exist with landscaping on the side streets whereas commercial blocks dominate the streetscape in the core.

Generally speaking, there are three main types of buildings in the three Districts: commercial (which includes office/retail buildings that contain residential units); institutional; and residential. Detailed descriptions of the characteristics of each type can be found in several local documents:

- For all types, refer to “Architectural Styles in the Port of Goderich” (2010), prepared by the Municipal Heritage Committee – Heritage Goderich and the design guidelines for buildings and the public realm found in the Downtown Master Plan (**Appendix D**).
- For commercial blocks in the two existing HCDs, refer to “Understanding Commercial Blocks in Goderich” (January, 1999), prepared by John Rutledge Architect (guideline text from this document is found in **Appendix E**)

5.1.1 Commercial Buildings

Commercial Character

The majority of the buildings are commercial within the eastern portion of the new HCD, as well as within the Square and West Street HCDs; that is, they typically contain retail or office uses, although some also have residential units above. The majority of them date from the late 19th and early 20th centuries although there are examples of earlier and later structures from the mid-19th to the late 20th century, as well as some replacement structures constructed following the 2011 tornado. The majority of the existing buildings were constructed in the period between the 1870s and the 1920s that coincided with Goderich’s years of peak prosperity. The development pattern of two to three storey structures built to the street line was established at this time and has been followed since.

Not all of the structures from the boom years have survived. Several key structures were lost during the period following WWII, when car usage became commonplace. Parking lots and auto-related buildings replaced key structures at street corners, banks replaced former landmark structures with more mundane versions, and 20th century structures within the blocks were often single storey and had a horizontal emphasis, in contrast to the predominantly vertical massing of the existing buildings. Shopfronts were modernized with new materials, re-clad with larger areas of glass, and changed to have reorganized entrances and signage. Upper floors were converted to apartments or storage, covered over, or left vacant. The formerly coherent streetscape became somewhat less so.

More recently, some property owners have reversed some of these alterations and restored their buildings to their former appearance, and some replacement structures have revived the design principles of the predominant pattern, interpreted in contemporary ways.

Components of a Commercial Building's Facade

Following the basic tenets of Classical architecture, 19th and early 20th century downtown buildings were made up of three basic components: a base, middle, and top, arranged within a symmetrical composition. The lowest, street, level typically contained the retail shops and the building entrances, with large plate glass windows occupying approximately half the frontage and signage above and on the windows. The middle section typically had roughly 30% of the wall devoted to window openings and contained non-retail uses such as offices, meeting rooms and apartments. The upper section met the sky with building elements that were both functional and decorative. Each section was typically distinguished from the next by architectural elements such as sign boards, band courses and cornices, and these elements often aligned with those of neighbouring buildings, tying the streetscape together. While each building was distinct, it shared many characteristics with its neighbours. In Goderich, these elements were composed within three main styles: Georgian; Italianate; and Second Empire (see **Appendix E** for more detail). Within these three stylistic types, each of the three components of commercial buildings has specific elements that serve particular functions.

The street level is the storefront in which display of commercial goods is the primary use. Its base provides a solid visual underpinning to the building as well as protecting the facade from damage due to snow clearance and pedestrian traffic. The display windows above are important features of the facade and are often elaborately finished with metal or wood sash, trim and glazing bars. They draw the eye into the building interior, highlighting the goods within during store hours and in the evening, and are augmented by lettering on glass, displays and lighting. The main entrance is another key feature. Often recessed in order to provide additional window frontage as well as shelter, it draws customers into the shop. The void created by the recessed entrance adds visual interest to the street. Doors and door hardware were carefully chosen to signify quality and solidity, another way to attract customers. Above the display windows and entrance, signage is another key component. Signage is usually arrayed horizontally in a signboard below the cornice or entablature of the storefront which, in turn, often has decorative projections and ornamentation. The final features of storefront are pilasters, or protruding vertical elements framing the entranceway or marking divisions between bays, and awnings, which shelter customers and produce displayed outside as well as provide visual interest.

The upper two sections are further away from street level and thus are designed to be seen at a greater distance. The middle section usually contains less fine detail and features larger scale decorative elements, such as band courses or inset decorative brickwork.

Window openings arranged at regular intervals typify this section. The upper section contains the cornice and roof and it is here that many of the most prominent details are found. A decorative treatment of the roofline completes the facade, making a dramatic outline against the sky and relating to similar treatments on adjacent buildings. Cornice details are often in wood, brick or pressed metal. Roofs are typically shallow monopitches sloping away from the street side, or flat.

Conservation Issues

Because the front of the building is on public display, its condition is evident to passersby and any deterioration or alteration is easily seen. Roofline components are particularly vulnerable to the elements and need regular maintenance. Changes in architectural fashion have also resulted in the loss or covering up of such details. Removal of building elements not only decreases the building's visual appeal, it also removes some of the property's heritage value and degrades the streetscape. Historic photographs, such as those found in the HCD Study, show how vibrant and varied the skyline of Goderich's downtown was in the late 19th century, when most of the buildings were first constructed. Some of that detail is now missing or in poor repair. The guidelines in this Plan are intended to encourage property owners to make the extra effort to preserve such elements and, in some cases, restore those that are beyond repair or have been lost.

Starting at the building's grade level, the base of the shopfront is subject to constant wear and exposure to moisture and dirt: it needs regular inspection and maintenance. Display windows and their accompanying signage, awnings and lighting are also delicate and should be carefully repaired and/or restored. The entrance door, if original, should be retained or a replacement chosen that complements the original facade. Since original signage is often replaced or covered, care should be taken to preserve or restore signboards and the cornice, entablature and pilasters that complete the storefront composition.

In the upper sections, windows should not be reduced in height (often to accommodate dropped ceilings in the interior) or blocked off, thus disrupting the facade composition. The cornice is often left to deteriorate or is removed because of the difficulty in getting access to it for maintenance and repair. Exposure to the elements hastens decay, as do poor protection from moisture penetration due to flashing failure, poor caulking, or inadequate roof drainage. But because the eye is drawn upward by the vertical emphasis of most commercial facades, a poorly maintained or missing roofline is a dramatic disappointment.

5.1.2 Residential and Institutional Buildings

Residential and Institutional Character

Some of the richest architectural variety in the HCDs is found in the residential and institutional parts of these Districts. The large variety of styles and application of materials not only creates visual delight but also marks the historical evolution of development in the downtown.

Residential architectural styles cover the gamut between such early 19th century types to contemporary revival versions. What is interesting is that almost each type is represented within the Districts. There are a few examples of the earlier styles – Georgian, Greek Revival, Ontario Cottage – the more prominent styles tend to be Italianate, Queen Anne and Edwardian Classicism. There are some examples of Arts and Crafts and period revival styles, but much of the post-WWI design consists of versions of Modernist styles. All of these would be vernacular interpretations of each style, undertaken by tradespersons using standard designs as a basis. Brick is the standard wall treatment, either in buff or red, with fewer examples of frame construction. Architectural detailing is most evident in the wooden ornamentation of eaves and porches.

In terms of massing, the 19th and early 20th century buildings tend to be larger (with the exception of the Ontario Cottages), with two or two and half storeys. Single storey or one and a half storey houses are more common in the mid-late 20th century structures. However, as in most small towns, the downtown core tends to have a mix of the humble and the grand, with modest workers' cottages interspersed among the more substantial middle-class homes. As for their orientation, there is an almost even mix of housing that has its gable end facing the street with those that are placed parallel to the street line. What tends to be common is the side yard width, resulting in an almost even spacing of buildings along the street, behind a basically uniform setback from the curb.

Institutional buildings are usually designed to stand alone, as landmarks, in contrast to commercial buildings, which are usually aligned side by side to form a consistent street edge along a block, or residential buildings, which are usually spaced more or less evenly along a tree-lined street. This is especially true of the important public buildings in Goderich's downtown, the most prominent of which is the Court House. Similarly, the Town Hall, library, Livery, Legion, churches and other public buildings all stand out in their settings even though they share common materials (and, sometimes, architectural styles) with their commercial neighbours. In most cases, however, the public buildings are stylistically distinct from the private buildings, with Romanesque Revival or Modernist styles predominating. In addition, public buildings are often considerably larger, and taller, than the predominant one-to-three storey massing of the rest of the downtown core.

Conservation Issues

Most owners of older homes accept the added maintenance that such places often entail in return for the quality of setting they supply. That said, many older properties are very well built and are more robust than their newer counterparts. If the conservation regime suggested in this Plan is followed, owners of an older home will often have a better long-term investment than will owners of a new property.

The Town and other public agencies own most of the landmarks within the Districts, and with that ownership comes an additional responsibility to show by example in any conservation and alteration work done. Since these buildings are special, they have often been designed by architects and incorporate high quality materials and construction techniques. As a result, any work undertaken on them requires a high level of care and expertise. The guidelines in the District Plan, especially those in the federal *Standards and Guidelines*, offer specialist advice on how to address the unique issues that arise in landmark heritage buildings.

With all older properties, issues arise in finding skilled tradespeople (and materials) to do the maintenance work required for some parts of older buildings. If such people are available, they are sometimes booked well in advance and charge higher rates than would everyday contractors. Municipalities can be of assistance here by providing lists of qualified specialist contractors, even though public agencies are not able to recommend specific firms.

The most vulnerable parts of the public face of houses are the wooden details such as those found in eaves, verandahs and porches. Exposed to the elements and, in the case of entrances, to everyday wear and tear, these wooden details tend to require ongoing maintenance if they are to survive. Often the temptation is simply to remove them, by covering a cornice or by taking off a porch. But this action also removes much of the visual character of the house and often leaves an ugly scar on the brickwork where the wooden structure once attached. Since Goderich prides itself on its porches, extra effort should be made to conserve these elements.

Other issues include upgrades to windows, where upgrading the existing windows sometimes seems more onerous than replacing them with new units. While there are many manufacturers able to supply windows that are energy-conserving while compatible with heritage settings, conservation best practices recommend retrofit rather than replacement as being a better long-term investment as well as a more sustainable practice. Town staff, using the guidelines in this Plan, can advise property owners on best options. And in making alterations or additions to older buildings, finding the best design approach requires careful thought if the end result is not to be a jarring contrast between old and new. Again, the guidelines in the District Plan offer sound advice on ways of resolving this issue.

Paint colour is a perennial issue, but paint colour types and colour schemes will not be prescribed in the District Plan. The reason for this is that “the colour you paint your front door” is too restrictive an issue to be included in guidelines that must apply to an entire district. Section 6.2.5 of the guidelines provides general advice. What tends to occur in most HCDs is that property owners correctly assume that a colour scheme similar to that which would have been original to the building is that which most suits it today. Paint suppliers can now offer a wide range of historically-accurate paint colours that will suit the different architectural styles found in the Districts. Choice of paint colour should be based on colour schemes appropriate to the architectural style and historical period of the property, aided by historical research, as necessary.

As is evident from the foregoing discussion, guidelines for Heritage Conservation Districts primarily address the parts of a property that are visible from the street; in other words, the front. In Goderich, the radial geometry creates many instances where the sides and, in some cases, the backs of buildings are visible from public land. This creates problems for regulating the effects of changes to buildings so that the heritage attributes of the Districts are not diminished. The guidelines in the District Plan apply primarily to the façade and encourage additions and alterations to the building exterior to be undertaken on the back of the building and, in some cases, on the sides.

5.2 Cultural Landscape Types in the Districts

5.2.1 Public Realm

The radial street pattern is so obvious that change is limited to keeping and enhancing what already exists. There is a clearly defined pattern of street widths and, within this pattern, a clear hierarchy of primary and secondary routes. The wide boulevards on the radiating streets identify the non-commercial parts of the Districts. Straight alignments offer views of distant landmarks, such as the lake and train station, and also converge on the Court House and park. Guidelines in the District Plan, in concert with those in the Downtown Master Plan, illustrate ways in which civic upkeep and improvements can reinforce these established patterns with sensitive installation of lighting, tree planting and street furniture. And when the streets need to be dug up to repair or install municipal services, the guidelines also provide advice on ways to do so without diminishing the Districts’ heritage values.

5.2.2 Private Realm

In common with most other Ontario towns, the line between public and private property along streets is blurry. Gone are the days when everyone fenced their yards to keep wandering animals out (or in). The commercial streetscape has buildings fronting directly on the sidewalk while the residential and institutional streets have buildings set back behind a municipal boulevard and a front yard.

Whereas in the 19th century, the types of plantings in those yards tended to follow a somewhat standard approach, more eclectic treatments of front yards became more common later. Today, it is the norm to have a front lawn with some ornamental shrubs and trees, but there is nothing to say that other options cannot be pursued. Generally speaking, however, the District Plan discourages landscape treatments of residential front and side yards that would obscure or even erode the building exterior (such as certain types of brick-destroying ivy). What happens in rear yards is not of concern to the District Plan, except in corner lots, where the privacy of the residents would be served by screening those yards to prevent overlook from the street.

Things are different in the commercial back yards, where the service laneways often double as informal pedestrian routes, parking lots and outdoor amenity space for building tenants. Here the guidelines suggest improvements that would make these spaces more attractive, functional and safer. Outdoor amenity space can be formalized, as can service access. Parking here can often be better arranged to provide more efficient layouts. Links between the rear lanes and the street can be better lit, paved and signed. Overall, the front and rear parts of downtown commercial properties should be seen as a unit, working together as shared public and private space.

In both the public and the private realm, the unique street layout results in views across back and side yards that offer intriguing glimpses of town landmarks, such as church steeples, the Bedford Hotel cupola, and the Court House. Keeping these views from being obscured by high fences or fussy landscaping will be important in maintaining the heritage character of the Districts.

6. Guidelines for Buildings (all types)



6.1 Introduction

6.1.1 Design Principles

The distinct identity of downtown Goderich is linked to its unique street pattern, its “ring” of commercial buildings that form the walls of the central square, and the quality of its residential and institutional architecture. Central to the intent of the guidelines is maintaining strong edges to the central square and the radiating streets.

The primary reason for having design guidelines in a Heritage Conservation District is to encourage property owners to “do the right thing” when considering changes to their property. Since the majority of properties within the Goderich HCDs are late 19th- early 20th century buildings, the best approach for any proposed changes to these structures is to highlight their original designs. Most of the time, this involves removing later additions which obscure original elements of the facade, such as early storefronts and cornices, or residential porches and decorative eaves. In some cases, new work should reinstate missing elements, based on documentary evidence.

6.1.2 Property Evaluations

Guidelines for individual properties within the Districts are based on the inventory and evaluation of these properties found in the HCD Study. There are two main evaluation categories: “contributing” and “non-contributing”, while special buildings, usually those designated separately under Part IV of the *Ontario Heritage Act*, are termed “significant”. The ratings were based on the evaluation criteria specified by Regulation 9/06, passed by the Province of Ontario following adoption in 2005 of the updated *Ontario Heritage Act*. Most buildings in the Districts “contribute” to District character by virtue of their scale, age, materials, architectural design, and historical association. The few that don’t are often out of scale or are incompatible architectural designs. Some buildings are in poor condition but are still “contributing” because of their qualities in the categories outlined in the Province’s criteria for heritage evaluation.

Guidelines for non-contributing properties are intended to ensure that such properties do not compromise the Heritage Character of the Districts by adding further inappropriate changes to the building. The guidelines also offer suggestions for the ultimate replacement of non-contributing buildings with a more compatible structure. Refer to **Appendix B – Inventory and Evaluations** for the list of contributing and non-contributing properties and their locations.

As with conservation work, the following guidelines rely on the *Standards and Guidelines for the Conservation of Historic Properties in Canada (2nd ed.)*, adopted by the federal government. Rather than repeat much of what has been well-explained in that document, the guidelines in this District Plan augment these standard guidelines with guidelines that address issues more commonly found in Goderich’s downtown HCDs.

6.2 Guidelines for Upkeep of Significant Heritage Properties and Contributing Properties

For general guidelines to be applied to existing heritage (contributing) buildings, refer to Section 4.1 of the Parks Canada *Standards and Guidelines*, especially the sub-sections addressing land use, visual relationships, and built features. As applied to Goderich, the following guidelines cover buildings in the study area:

6.2.1 Utilities and Telecommunications Installations

- Locate utility meters (gas, electricity) away from the street facade, on side or rear walls, whenever possible.
- Above-grade services connections (e.g. wires) should be grouped together and linked to the building in locations away from the street facade.
- Avoid locating electrical conduit on the exterior face of the building visible from the street.



UTILITY METERS LOCATED ON A SIDE WALL

- Air conditioning units (both window and roof-mounted) should be located away from the street facade if possible.
- Where possible, locate, or relocate, satellite dishes and antennas away from the street facade.

6.2.2 Environmental Sustainability

General

- Make efforts to employ environmental sustainability measures, provided that the measures do not compromise the heritage attributes of the property or the surrounding area.
- Diligent building maintenance contributes to environmental sustainability by reducing the unnecessary consumption of resources as well as stress on landfill sites.

Building Envelope

- Insulate and air/vapour-seal exterior walls from interior not exterior where recommended. Insulating heritage structures can significantly affect masonry envelopes, rapidly shortening the life expectancy of existing materials through increased freeze/thaw cycles. Interior masonry surfaces should be repaired and convective air leakage should be reduced on the interior side (e.g. by applying a 25mm layer of spray-applied polyurethane foam insulation).
- A building with an upgraded air-tight building envelope will require mechanical ventilation rather than passive ventilation. Dedicated air intake and exhaust louvers will be required for living space air as well as for combustion air. New air intake & exhaust louvers should not be visible from street.

Mechanical systems

- Air intake & exhaust vents should not be visible from the street. Coordinate location of mechanical equipment internally to eliminate penetrations visible from street. High efficiency gas fired appliances (boilers, furnaces) require power vented exhausts, typically horizontally through a sidewall rather than vertically like a conventional chimney, which will be possible only on corner properties within the downtown; otherwise, vertical venting will be necessary.

Solar photovoltaic/thermal panels/Skylights

- Do not take trees down to allow more sunlight to be directed to proposed panels.
- Panels should not be visible from the street.
- Skylights should be installed flush with the roof profile.

Heat pumps

- Heat pump units should not be visible from street.
- Conduit and supply tubing should not be visible from the street.

Wood

- Retrofit existing chimneys appropriately to accommodate high efficiency EPA wood burning appliances.
- Avoid new chimneys at the exterior of the building.

Wind

- Wind turbines are not appropriate for buildings in the HCD area.

6.2.3 Roofs

Roofing Material

- Where original roofing remains in place, use replacement roofing material to match original material. Where the existing roofing material differs from the original material, it is preferable that replacement material match the original material.
- Make an effort to recondition existing standing seam metal roofs. Existing standing seam metal roof should not be covered over with dissimilar roofing material.
- Reconditioning of existing slate tile roofing is encouraged; replace damaged individual slates with matching slates, installed by a roofer skilled in slate installation.
- For asphalt shingles, use premium quality for maximum life expectancy (up to 30 years); use grey, brown or black colours.
- Provide a continuous air barrier system, insulation, and ventilation at attics to prevent the formation of ice dams. On roofs prone to ice dam formation, install additional waterproofing when re-roofing. The presence of a continuous air barrier system prevents warm interior air from entering the attic space and is a significant defence against ice dam formation.



IDENTIFY AREAS PRONE TO ICE DAM FORMATION

Chimneys

- Retain existing chimneys whenever possible, even if they are no longer functional, in order to conserve the symmetry and architectural detailing of the building roofline.
- Repair/replace deteriorated material with like materials and replicate original detailing and bond pattern, based on documentary evidence.
- Line the chimney to prevent deterioration by acids and water vapour from the exhaust gases.

Gables, Dormers and Turrets

- Keep decorative turrets and gables free of siding or coverings that obscure details.
- As with other exterior components, replace deteriorated material with like components in the original design, or replicate based on documentary evidence.
- Ensure weather resistance in new material and in dormers with adequate preservatives and insulation as well as bird protection measures.

Soffits and Fascias

- Avoid covering original materials with new materials.
- Strip and repaint original painted surfaces; identify causes of paint film peeling and blistering prior to repainting.
- Retain fascia detailing (e.g. verge boards or pressed metal); replace deteriorated wood with new wood cut to replicate the original.
- Eaves troughs and down spouts are recommended to be installed for the control and diversion of roof water run-off. Eaves troughs and down spouts should be discreet in appearance and connected to the municipal stormwater system, where possible.
- Down spouts should be directed away from the building and away from pedestrian areas.
- Refer to the “Alterations” section of these guidelines for contemplated alterations to roofs.

6.2.4 Exterior Walls

Brick and Stone

- Keep rainwater from continuous contact with masonry walls (e.g. by ensuring proper drainage from roof surfaces and by retaining roof overhangs).
- Non-heritage contributing cladding that has been applied over original cladding should be removed (e.g. aluminum siding applied over brick or clapboard).
- Re-pointing of brick and stone masonry should match the colour and profile of the original mortar and be of the appropriate type and mixture that will not damage the masonry material.
- Existing brick or stone masonry should not be sandblasted to remove paint finish. Use of chemical paint stripper is acceptable provided it does not damage the brick or stone surface.



REMOVE UNSYMPATHETIC CLADDING COVERING ORIGINAL FACADES AND FENESTRATION



BRICK AND STONE EXTERIORS SHOULD REMAIN UNPAINTED

- Painting of brick surfaces is not recommended and is not appropriate for stone.
- Cracked or deteriorated stone surfaces should be stabilized using concealed non-oxidizing pins and epoxy injections.
- Replacement stone should closely resemble the original.
- Protect brick and stone masonry from spalling at grade. Salt should not be used as de-icing agent adjacent to masonry structures and ensure positive drainage away from foundation walls.



PROTECT FROM SPALLING AT GRADE

Wood Siding

- Preserve as much as possible of original material when making repairs, and replace deteriorated material with similar material.
- Keep wood siding from contact with the ground to avoid rotting and insect damage.
- Whenever possible, replace natural wood siding with new natural or pre-finished wood siding, cut to the same profiles as the original.
- Do not replace wood siding with vinyl or aluminum siding, as they are easily damaged and cover original material. If wood siding cannot be used, fibre-cement board is an acceptable substitute.

Stucco

- Repair stucco with modern assemblies: match original appearance in colour, texture and finish, retaining specialists in exterior stucco work.
- Avoid the use of External Insulation Finish Systems (EIFS) as they require very careful installation if they are not to obscure architectural details or cause moisture retention problems for the underlying structure.

6.2.5 Decorative Trim and Details

- Regularly inspect, repaint and use wood preservatives on decorative wood components.
- Avoid using stock mouldings in standard profiles: instead, preserve and restore as much of the original trim as possible and use original elements as templates for replacement sections.
- Choose paint colours that are compatible with the heritage character of the District and that are complementary to the age, style and detailing of the subject building.
- For extensive repainting work, select professional painters with specialist knowledge of paint types and application techniques appropriate for older buildings.

6.2.6 Windows and Doors

- Original windows that suit the heritage character of the building should be maintained rather than replaced. In most cases, wooden sash windows and storm windows, if properly fitted and maintained, can provide superior thermal insulation.
- Original stained glass windows should be conserved and repaired; replacements for broken or missing glass should replicate the original and complete replacements should have glass details in colours and shapes similar to the original.
- Non-heritage contributing exterior storm windows should be removed; interior demountable storm windows are recommended instead.
- Refer to the “Alterations” section of these guidelines if existing windows are sufficiently damaged that they need to be replaced. Avoid the use of aluminum or vinyl-clad windows: if they must be used, match the style, size and proportion of the original wooden windows, and provide a frame that can be painted to match the rest of the facade fenestration.
- Original exterior shutters and shutter hardware should be conserved and maintained. Missing louvers and hardware should be replaced.
- Shutters should only be installed on buildings that would have originally had them and should be of the size and design appropriate to the original buildings. Modern shutters in contemporary materials (e.g. aluminum) and in sizes smaller than the window opening, should be avoided.
- Preserve original doors, details, glass, hardware, door surrounds and entrance openings whenever possible.
- Choose storm doors and screen doors that are appropriate for the age and style of the building, and use wooden framed doors where practical.

6.2.7 Foundations

- Ensure positive drainage away from all foundation walls.
- Inspect foundations for cracking, settlement or loose materials, and repair accordingly.
- Foundations with noticeable settlement should be inspected by a structural engineer and may have to be rebuilt. Temporary support for the wall above the foundation work may be required.

6.2.8 Signage

[refer to Section 14 of the Town of Goderich Sign by-law]

- Signage should be contained within the signboard above the main floor display windows or perpendicular to the facade.
- Light signs directly with light fixtures attached to the building facade.
- Do not use internally-lit plastic signage.
- Lighting of fixed or hanging signage should meet dark sky guidelines to avoid light pollution by being directed downwards.
- Encourage the use of decorative hanging signs projecting from the facade.
- Encourage the use of retractable (not fixed) awnings, incorporating signage.



SIGN LIGHTING

6.3 Guidelines for Alterations to Heritage/Contributing Buildings

6.3.1 General Practices for Alterations

- Find out as much as possible about the original appearance and style of the building in order to determine the best options for alteration that respects the property's heritage attributes.
- In the absence of documentary evidence, examine the building itself to determine original design details, materials and layouts.
- Look for properties within the District that are similar in age and style for further evidence of details and materials suitable for use in an alteration.
- If original materials and construction are available, avoid replacing them with contemporary materials and construction methods.
- Original elements such as windows, doors, porches, verandahs and their details should be retained and restored whenever possible.
- Model replacement features and building forms on the originals in style, size, proportions and materials, whenever possible.
- When in doubt, make changes reversible and as inconspicuous as possible.
- Record the alteration and retain samples of original materials that have been replaced.



EVIDENCE OF A FORMER FRONT
VERANDAH

6.3.2 Roofs

- If possible, during the alteration process, record the alteration and retain samples of earlier materials that have been replaced.
- Roof profile visible from the street should remain unaltered.
- Changes to portions of the roof not visible from the street are permitted.
- Replacement roofing material should be compatible with the age and architectural style of the specific property.

6.3.3 Windows

- Make efforts to re-build or recondition existing heritage-contributing windows before replacing them.
- Where existing heritage-contributing windows are too damaged to be reconditioned, new replacement windows should replicate the sash, stile, and muntin pattern of the original.
- “False” divided lights are permitted provided that they have true muntins at the exterior of the glass.
- Do not alter the location, size, and shape of all existing windows facing, or visible from, the street.
- Avoid creating new openings for windows on facades visible from the street.
- Avoid the use of mirrored glass.
- Avoid replacing hung sash windows with casement or other windows.
- Where a replacement window is used it should be energy efficient (such as Energy Star rated) wherever possible.

6.3.4 Cladding

- Make efforts to replace exterior cladding that has degraded beyond repair with new or reclaimed material to match.
- Existing exterior cladding that is appropriate to the age and architectural style of the property should not be covered over with different cladding.
- Cladding that is part of a new addition should be distinct from the cladding of the existing building.
- Acceptable cladding for a new addition includes: brick masonry; stone masonry; wood clapboard; fibre cement board with paint finish; stucco; wood shingles (where permitted by Building Code).
- Vinyl siding or asphalt shingles are not acceptable claddings for a new addition.

6.3.5 New multiple dwelling units in existing building

- Required secondary means of egress should be integrated at the interior of the building. Where an exterior fire escape is required (and where permitted by Building Code), the fire escape should be located so that it is not visible from the street wherever possible.
- Hydro and gas meters, conduit, cable connections, telephone connections etc. should be located at the side of the building where access permits, or at the rear of the building wherever possible. No service connections or consumption meters should be located facing the street wherever possible, or should be screened within an open-able cabinet if on the street face.
- Parking spaces required by new dwelling units shall be accommodated on the street or in rear parking lots accessed by side driveways or laneways, where such access routes currently exist.

6.4 Guidelines for Additions to Heritage/Contributing Buildings

6.4.1 General Guidelines

- Additions should be complementary to the main building and clearly secondary in terms of size; they should also be clearly distinguishable in form and detail.
- Additions should be located away from the main street facade, at the rear of the building.
- The height of the addition should be no more than that of the main building and, preferably, lower, in order to clearly distinguish it from the original building, unless set back within a 45 degree angular plane (from the centreline of the street ROW).
- Construction of additions should not entail removal, covering or other adverse impacts on the heritage attributes or other important architectural features of the original building.
- Additions should avoid causing irreversible changes to the original building.
- Where additions are visible from the street they should include a cornice that is carefully aligned with neighbouring buildings and be of similar proportions.
- Rear addition roof ridgeline height should not exceed the existing building roof ridgeline or be within the angular plane described above. Where the existing roof is a mansard roof, the top of parapet will be considered as the ridgeline.

6.4.2 Signage

(as above)

6.5 Guidelines for Alterations/Additions to Non-heritage/Non-contributing Properties

These properties shall be subject to the foregoing guidelines, with the following exceptions:

- Make efforts to carry out maintenance using materials and methods that do not detract from the heritage attributes of the area.

6.5.1 Windows

- Location, size, and shape of existing windows facing, or visible from, the street are permitted to be revised.
- Where visible from the street, new window openings should that the horizontal and vertical architectural elements are aligned with existing buildings.
- Horizontal slider windows should be avoided.

6.5.2 Cladding

- Existing cladding is permitted to be covered over with different cladding that is more compatible with the heritage character of the adjacent buildings.

6.5.3 Multiple dwelling units

- Proposed new multiple dwellings within an existing building can be considered should the Building Code require that an existing building's combustible cladding be replaced with non-combustible cladding.

6.6 Guidelines for New Construction

6.6.1 General



TWO-STOREY INFILL DEVELOPMENT
ILLUSTRATING APPROPRIATE MASSING,
MATERIALS AND DESIGN

- New buildings are not required to replicate an existing heritage style but should follow the facade proportions, proportion of window openings to wall area, materials, and design devices (e.g. cornices, string courses dividing storeys).
- Attempt to match the setback, footprint, size and massing patterns common on the streetscape in which the property is located, especially in the context of the immediate neighbouring properties.
- Take advantage of unique conditions, such as corner properties, by providing architectural details and features on both street facades.

6.6.2 Massing

- New construction should consider and respect the scale and massing of adjacent buildings, reflecting the base, middle and top of those buildings.
- New construction should generally maintain front wall alignment with adjacent existing buildings' front walls.
- New construction should respect the pattern of facade division by ensuring that the horizontal and vertical architectural elements are aligned with neighbouring buildings.
- New construction should maintain the height of adjacent buildings.

6.6.3 Roofs

- Flat roofs are permitted in commercial buildings, but gable or mansard roofs are recommended in institutional and residential properties.

6.6.4 Windows

- Windows should be vertically aligned from floor to floor and horizontally aligned with neighbouring buildings.
- Entries and display windows should be placed at regular intervals consistent with the pattern established on that block.
- A window/wall ratio that has a greater proportion of wall is preferred.
- Large blank expanses of glass are discouraged, but the appearance of divided lights is not required.

- Where 'false' divided lights are proposed, make efforts to use true muntins at the exterior surface of the glass.
- Hung sash, casement, awning, or hopper windows are acceptable.
- Do not use horizontal slider windows.
- Windows may be made of: wood; wood with painted extruded aluminum exterior; fibreglass with painted extruded aluminum exterior; vinyl with painted extruded aluminum exterior; thermally broken extruded aluminum frames with painted exterior finish.
- Avoid using white vinyl windows.
- Do not use mirrored glass.
- Use energy efficient (e.g. Energy Star-rated) windows.

6.6.5 Cladding

- Acceptable cladding materials include: Brick masonry; stone masonry; fibre cement board with paint finish; stucco; where permitted by Building Code.

6.6.6 Signage

(as above)

6.6.7 Demolition

- Demolition in an HCD is a last resort, when all reasonable efforts to rehabilitate the building have been tried. Should demolition be necessary due to damage sufficient to require the Chief Building Official to issue a demolition permit, then the following guidelines apply:
 - Conduct the demolition in ways that allow salvage of historic material, such as masonry, wooden structural elements, and interior and exterior details, for potential reuse or interpretation. Recycle/reuse as many of the salvaged materials as possible to divert them from landfill.
 - Photograph stages in the demolition process that reveal surviving elements of the building's original structure and materials; photographs to be submitted as part of the building permit process for the replacement structure.

7. Guidelines for Streetscapes and the Public Realm



7.1 Introduction

The assembly of building frontages, open spaces, streets and laneways collectively make up the character of the District and, in combination, are greater than the sum of their parts. They constitute the “public realm”. They create a “sense of place” that is defined in this Plan as the “heritage character” which, in turn, is made up of the essential “character-defining elements/heritage attributes”. These spaces were not originally designed as a unit, but were the result of many individual design decisions made incrementally, over time. However, there was consensus on some underlying principles that created a generally harmonious relationship between the different elements. It is these principles that form the basis for the following guidelines.

For general guidelines to be applied to urban downtown heritage districts, refer to Section 4.1 of the Parks Canada *Standards and Guidelines*, especially the sub-sections addressing land use, visual relationships, and built features. As applied to Goderich, the following guidelines cover streetscapes and the public realm:

7.2 Streetscapes

7.2.1 Streetscape Treatment

- Conserve the heritage attributes of the existing buildings that the HCD Study inventory has evaluated as contributing to the character of the District.
- Changes to these buildings, or new construction, must reinforce the District character by providing alterations or infill that is compatible with its surroundings in terms of setback, massing, materials and exterior design.

7.2.2 Lanes and pathways

- Treat the rear and side walls of District buildings that are visible from lanes and pathways with similar care to that given the main facade. Encourage pedestrian use of these means of gaining access to downtown buildings and sidewalks.
- Improve the appearance of these access routes with better lighting, paving, and ongoing maintenance. Add display windows or advertising/interpretive images along pathways to make them more attractive.
- All additions, alterations and new developments that are visible from public streets and from the lanes and pathways must comply with the District guidelines.

7.2.3 Public road allowance

- The existing streetscape improvements have been in place for many years and some are showing their age. They should be upgraded over time following the guidelines of the Downtown Master Plan, as echoed in the guidelines in the District Plan. The design should include, but not be restricted to, such components as parking and loading, plantings, paving, bicycle lanes and storage, street furniture and public art.
- The current placement of utilities infrastructure underground should be continued in order to keep the District viewscales as uncluttered as possible.
- Public works undertaken within the public realm should respect District character by following the guidelines in this Plan.
- All sidewalks must meet the requirements of the *Ontarians With Disabilities Act*.

7.2.4 Lighting

- At the time when the existing fixtures are to be replaced, there should be no attempt to have falsely historic street lighting distinctive to the District. The Town should use fixtures that are simple and unobtrusive and that incorporate banner arms and electrical outlets. New lighting should minimize light spill and glare, meeting guidelines for dark sky conditions. As budgets permit, it will be advisable to replace the existing high pressure sodium fixtures with ones that provide a quality of light better suited to pedestrian environments. Metal halide or, if feasible in future, LED luminaires, should be considered for possible installation in the District.
- Special lighting should be considered for key buildings within the District, especially the court house. A qualified lighting designer should be retained to prepare a lighting master plan for public buildings in the District.

7.2.5 Street furniture and signage

- Street furnishings such as benches, trash receptacles and bicycle racks are a major component of the District streetscape. When the opportunity arises to implement the recommendations of the Downtown Master Plan, new furniture should be compatible with the District's heritage character but not falsely historic, and should be co-ordinated with the Town's standard selections of such furnishings for downtown installations. Any comprehensive upgrade of street furniture should take place as part of an overall streetscape design.
- Municipal regulatory signage should be kept to a minimum and signs should be grouped on existing poles whenever possible.
- Consideration should be given to having special street signage for streets within the District, in compliance with municipal signage standards. A signage plan for the District should be undertaken to guide any proposed changes to existing street signage.
- Consideration should be given to replacing parking meters with meter stations.

7.2.6 Plantings

- As described in the Downtown Master Plan, new trees chosen for planting on public street rights-of-way shall be chosen for their ability to thrive in Goderich's soil and climatic conditions. They should be non-invasive species. Tree location and canopy type and height should be assessed so as to avoid conflict with below- and-above-grade services. Species selection and tree location shall be made upon recommendations from a landscape architect and/or certified arborist, in consultation with the Town staff.

- New trees should be planted to frame, not obscure, views of significant buildings and vistas down streets.
- Existing mature trees should be maintained and preserved wherever possible. An assessment of tree condition within the District shall be conducted by a certified arborist to determine tree vitality. Any decisions regarding removal of mature trees for reasons of disease, damage or affect on public safety must be made in consultation with a certified arborist and Town staff.
- Shaping of canopies of existing trees, as part of maintenance or installation of overhead utilities, shall be done in ways that do not disfigure the tree. Similar care should be taken to avoid damage to pedestrian level plantings within the street right-of-way.

7.2.7 Parking and loading

- On-street parking should be encouraged within the District. Parking in rear parking lots should be encouraged, with improved rear access to buildings and pathways to the street sidewalk.
- No demolition of existing buildings for surface parking should be permitted in the District.
- Subject to a parking study of the downtown, consideration should be given to construction of parking structures in the rear of downtown buildings, preferably on the site of existing public surface lots.
- New construction shall not have parking incorporated at grade unless it is integrated with, and situated behind, street level commercial uses that face the street.
- Loading is encouraged to be provided from the rear of buildings wherever possible. Loading from the street will continue to be permitted where no rear access exists.

7.2.8 District identity

- Further means of supporting the Districts' distinct character can include special treatments of the streetscape. As shown in the Downtown Master Plan, these can include, but not be restricted to, decorative banners, contrasting paving at street crosswalks and intersections, interpretive plaques, signage and murals.



■ Part 3

Managing Changes

8. Heritage Application Process



Once the District is designated, all owners of property within the District must comply with the requirements of the *Ontario Heritage Act* and the District Plan. After designation of a heritage conservation district, the municipality assumes responsibility for managing change within the District and for overseeing conservation and development activity.

This process need not be onerous for property owners. The District Plan identifies the types of changes in the District the Town wants to encourage and provide the means to “fast-track” them, in most cases by exempting such changes from the requirement to apply for a heritage permit. In other words, to the extent permitted by the legislation, the heritage permit process is meant to be pro-active rather than restrictive.

8.1 Applications for Alterations under the *Ontario Heritage Act* (Heritage Permits)

The Town’s primary management tool is an “Application for Alteration under the *Ontario Heritage Act*” (also known as a “heritage permit”) which is required for any action that may affect the heritage attributes/character defining elements within a Heritage Conservation District (HCD). These heritage attributes/character defining elements can be located on an individual property or in the public realm. Properties designated under Part IV of the *Act* may have additional aspects related to their reasons for designation that may require heritage permits (as in the case of designation of interior elements).

1- For the purposes of this Plan, "Town Planning staff" is defined as consisting of the County Planner assigned to Goderich and the Town's Clerk/Planning Co-ordinator.

The "Application for Alteration under the *Ontario Heritage Act*" process is administered by the Town Planning staff¹. Requests are processed according to the requirements of the *Ontario Heritage Act* and in accordance with Town requirements. Information concerning the application process can be obtained from the Planning Department.

8.2 Municipal Authority for Requiring an "Application for Alteration under the *Ontario Heritage Act*".

The Council of the Corporation of the Town of Goderich has the authority under s.42(1) of the *Ontario Heritage Act* to grant, grant with terms and conditions, or refuse an application for a permit to alter, demolish or remove, or erect any building or structure within the HCDs. The Act states that:

No owner of property within the HCD shall do any of the following unless the owner obtains a permit from the municipality to do so:

- 1.) *Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
- 2.) *Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.*

Applications for Alteration under the *Ontario Heritage Act* are required whether the owner is a private citizen, public agency, business or the municipality. The Province of Ontario and the Government of Canada, as senior levels of government, are exempt from the requirement but are encouraged to comply with the Town's application requirements.

When is an application required?

The *Ontario Heritage Act* stipulates that Applications for Alterations under the *Ontario Heritage Act* are required in HCDs only for work on the exteriors of buildings or structures, unless otherwise propertyed by another type of designation such as a Heritage Easement or Part IV (individual property) designation. If there is no other type of designation on a property, **no application is required for the following works:**

- Interior alterations;
- Landscaping, that includes plantings², and, in this case, which does not require heavy machinery and which will not significantly change the appearance of a designated property, and;
- Repaving of walkways and driveways.

2- Note that, regarding trees within the District, the Town's current Tree By-law applies.

In addition, **no application is required for the following works:**

- Exterior painting of wood, stucco or metal finishes (unless paint colour has been identified as a character defining element in the property evaluation);
- Maintenance as defined by the Town¹ or as defined within a Part IV *Ontario Heritage Act* designating by-law;
- Replicating or repairing, using the same materials, of existing exterior features, including roofs, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches and steps, entrances, windows, foundations and decorative wood, metal, stone or terra cotta;
- Installation of eavestroughs; and
- Weatherproofing, including rehabilitating existing storm windows and doors, caulking and weatherstripping.

All other exterior changes to the property, as visible from the street², require an application. Work not involving the tasks listed above requires an application. The application process, described in more detail below, is straightforward and entails review by Town staff and the Goderich Marine & Municipal Heritage Committee, and Council approval. **An application and Council approval is required for the following works:**

- Cleaning or repointing of masonry on areas of wall space greater than 1.5 square metres;
- Replacement of windows, doors and other existing architectural features;
- Replacement/replication of existing roofing/cladding material with different material;
- Demolition/replacement of chimneys;
- Addition to the exterior of solar panels, wind generators, communications fixtures (e.g. satellite dishes, antennas, aerials) and exterior mechanical units; and
- Additions or alterations to the exterior, such as dormers, fixed canopies, and display windows.
- Demolition of buildings or structures, or portions thereof.

In addition to the works requiring applications listed above, the following works will require an application because they may involve a substantial change in the physical character of the affected property and of the District. Applications will be forwarded by Town staff to Council via the Goderich Municipal & Marine Heritage Committee. **Council approval is required for the following works:**

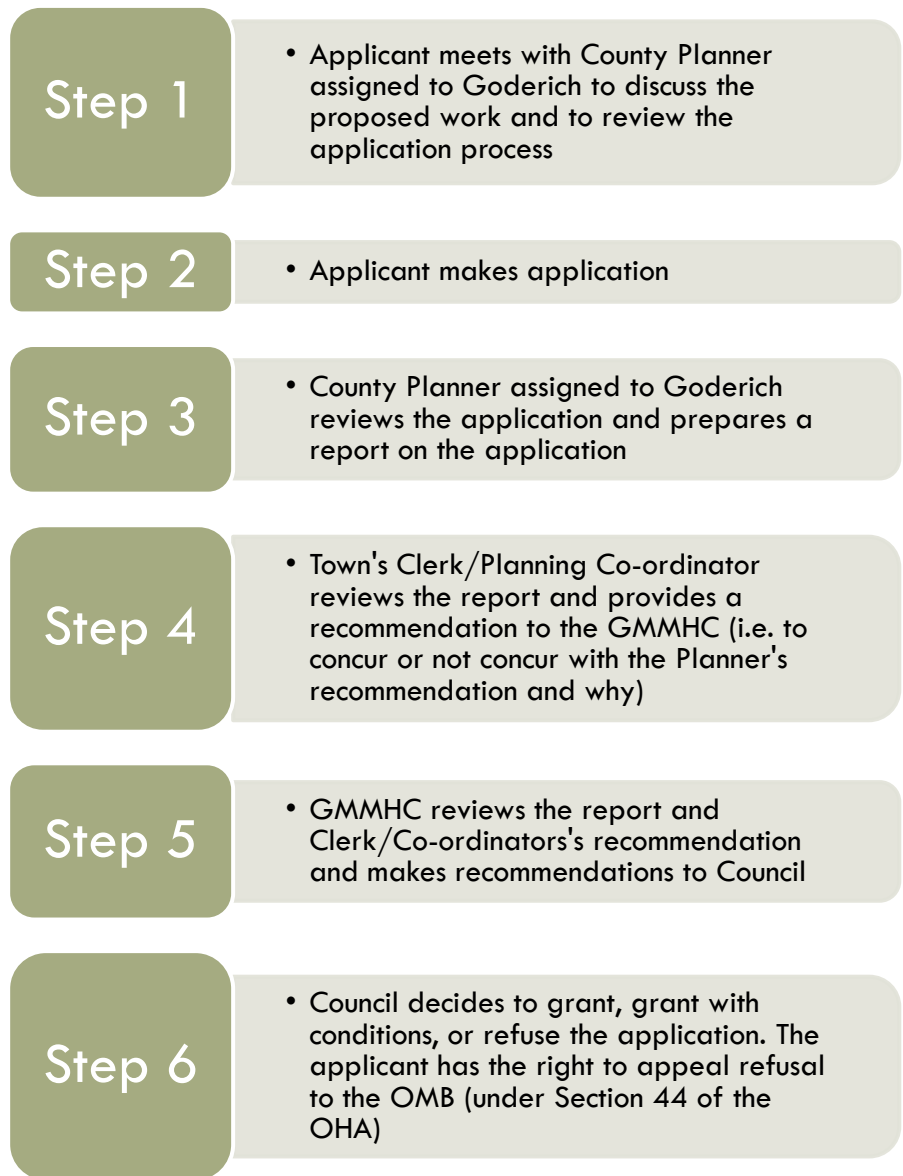
1- *It is recommended that "maintenance" be defined as follows: Maintenance is considered routine, cyclical, non-destructive actions, necessary to slow the deterioration of a historic place. It entails the following actions: periodic inspection; general property cleanup; general gardening and repair of landscape features; replacement of glass in broken windows; minor exterior repairs (including replacement of individual asphalt shingles where there is little or no change in colour or design); repointing areas of wall space under 1.5 square metres; and/or any work defined as maintenance within the designating by-law.*

2- *For parts of property within the Goderich Heritage Conservation Districts fronting on rear laneways, the requirements for an application do not apply.*

- New construction on vacant properties;
- Alterations to, or removal of, heritage attributes as outlined in the Plan and further identified in the inventory and evaluation of properties within the HCDs and attached to this Plan; and
- Any item that Town staff and/or members of the public have requested to be reviewed by Council via the Goderich Municipal & Marine Heritage Committee.

What is the application process?

The proposed alteration application process is as follows:



In addition, staff or an applicant has the option to request that any application be forwarded to the Goderich Municipal & Marine Heritage Committee for their consideration.

Some examples of terms or conditions that Council may request include:

- If the proposed development could involve significant changes to the character of the District¹, the Town may require the proponent to supply a Heritage Impact Statement and/or Conservation Plan, to be prepared by a qualified heritage consultant², analyzing the impact of any proposed work on the heritage attributes of the property, neighbouring properties, and the HCD as a whole. The report contains a fitting conservation strategy and recommends approval of the permit application as submitted, provides alternatives, or recommends refusal. Requirements for the scope and format of Heritage Impact Statements are to be determined in consultation with staff of the Town of Goderich Planning Department;
- Documentation of the property prior to the work being proposed in the application. This typically involves historical research, photography of current conditions, measured drawings and may also include requirements for salvage of identified components. Copies of the documents are typically submitted to the municipality for their records;
- Archaeological assessments³
- A heritage conservation easement agreement under the Act, to be registered on title, or similar covenant, requiring standards of maintenance or conservation work in return for permitted financial or planning incentives.
- Commemoration of the property, for example through installation on the property of an interpretive plaque.

1- Note that this requirement also applies to properties that are adjacent to the District. In this context, "adjacent" means "contiguous" or sharing a common border with the District boundary. In the case of an undesignated property within the District ("opted out"), if the property alongside that property would be adjacent to the District, then a Heritage Impact Assessment may be required for any proposed site alteration or development.

2- Such a person is to be a member of the Canadian Association of Heritage Professionals (CAHP) and have experience in Heritage Conservation Districts

3- A Stage 1 archaeological assessment for the entire Goderich HCD (i.e. all 3 HCDs) should be considered by the Town to help implement the Plan's policies and guidelines. Stage 2, 3 or 4 archaeological assessments may be required by the Town for proposed works in areas identified in the Stage 1 assessment as having high archaeological potential.

As will be explained by Town staff, a complete application for a heritage permit must contain the following information:

- Municipal address of the property;
- Name and address of the property owner;
- Description of the proposed work, including as many as possible of the following:
 - A site plan/sketch showing the location on the building/property of the proposed work;
 - Drawings of the proposed work showing materials, dimensions and extent of the work to be undertaken;
 - Any written specifications or documentation of the proposed work;
 - Photographs of the existing building/property condition where the work is to take place;

- Any research or documentation (e.g. archival photographs, or pictures, plans of similarly treated buildings in the HCD) in support of the proposed work, and;
- Signed statement by the owner authorizing the application.

Once a complete application has been submitted, the *Act* requires the municipality to either grant or refuse the permit within a period of 90 days. Approval will be granted as long as:

- There are no material changes to plans, specifications, documents or other information that forms the basis for issuing the permit, and;
- The work is carried out in accordance with the plans, specifications, documents or other information.

For projects requiring a building permit, the applicant must apply for a building permit as well as a heritage permit: the two review processes will proceed simultaneously. For projects requiring Site Plan Approval, or an amendment to the Zoning By-law or Official Plan, separate applications for these actions must also be made, for review by relevant municipal staff.

What should applicants do to prepare?

To make the process as smooth as possible for all concerned, applicants should do some background research. Suggested actions include the following:

- Become familiar with the HCD Plan objectives, policies and guidelines;
- Review the property description in the inventory and evaluation attached to this Plan, noting the building features and heritage attributes outlined in this Plan;
- Become familiar with standard principles and practices for heritage conservation work, as found in the Ontario Heritage Tool Kit and the federal *Standards and Guidelines for the Conservation of Historic Places in Canada* (see **Resources & References** below).
- Collect any available documentary research on the history of the property;
- Think of the ways in which the subject property fits within the streetscape and how the proposed work can be integrated; and
- Arrange a meeting with heritage planning staff and/or GMMHC to preview the application prior to submission.

Resources & References

Ontario Heritage Trust

10 Adelaide Street East
Toronto, ON M5C 1J3
Tel: (416) 325-5000
www.heritagetrust.on.ca

Ministry of Tourism, Culture and Sport

900 Bay Street
4th Floor, Mowat Block
Toronto, ON M7A 1C2
Tel: 416-212-0644
Tel: 1-866-454-0049
TTY: 416-325-5170
www.culture.gov.on.ca

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010. www.pc.gc.ca
(see also the References contained in the Standards and Guidelines)

Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation
by Mark Fram, Revised third edition, Boston Mills Press, 2003

Ontario Heritage Act, R.S.O. 1990

Ontario Building Code 2006 (Ontario Regulation 350/06)

Ontario Heritage Toolkit

Ontario Ministry of Culture

<http://www.culture.gov.on.ca/english/culdiv/heritage/Toolkit/toolkit.htm>
1-800-668-9938 toll free order line

Appendices

- A. Town of Goderich HCD Implementation Process
- B. Inventory and Evaluation
- C. Meetings and Study Team
- D. Guidelines from the Downtown Master Plan
- E. Guidelines from Understanding Commercial Blocks in Goderich

Appendix A – Town of Goderich HCD Implementation Process

B.1 Introduction

As discussed in Section 2, both the *Ontario Heritage Act* and the *Planning Act* provide the Town with all of the policy tools the Town needs to manage change in the HCDs, especially when both Acts are used in conjunction. Based on this understanding, implementing the policies and guidelines of the HCD Plan requires an efficient and objective review process. For designated heritage properties within Goderich, applications for alterations are reviewed by Planning Department staff and the Municipal & Marine Heritage Committee and forwarded to Council for approval. As noted in the HCD Study, it appears that the current departmental complement of management and staff, augmented by volunteer members of the Municipal & Marine Heritage Committee, will be sufficient to handle the anticipated workload resulting from District designation.

Within this HCD Plan, the proposed approval process for applications for alterations (shown in **Section 8**) provides a role for the Committee in reviewing any application for a heritage permit. It is also likely that staff and the public will seek the advice of the Committee on important matters arising from potential changes within the HCDs, such as significant development proposals requiring Site Plan Approval, a rezoning, or an Official Plan Amendment. The Committee may also consider the option of forming a sub-committee of the whole whose focus is on the HCDs, should the volume of applications from the Districts warrant it.

B.2 Monitoring the Plan's Implementation

It is important for the Town, as well as for local residents, to see the ways in which change has been managed as a result of designation, and to rectify any problems with the conservation and regulatory processes. Therefore, it is recommended that a monitoring program be put in place subsequent to the passage of the designating by-law, containing:

- Tracking of heritage permit applications applied for and granted, by type, completeness and location;
- Tracking of building permit applications applied for and granted, by type, completeness and location;
- Tracking of applications for Site Plan Control, or amendments to the Zoning By-law or Official Plan applied for and granted, by type, completeness and location;
- Recording of the number of applications for all types of permits reviewed by staff and those reviewed by the Municipal & Marine Heritage Committee;
- Average time required to review and process heritage permit applications; and
- Comments received from the public, Town staff and Council regarding conservation and regulation within the HCDs.

Town Planning staff will be responsible for monitoring the implementation process. It is suggested that the monitoring process be undertaken on a bi-annual basis and that the compiling of the required information be delegated to summer student employees. Should concerns be raised regarding increases in the average price of property within the new District following designation, and within the existing Districts, compared to other areas not designated, a separate report on this issue should be prepared by Town staff, in consultation with relevant departments and with local realtors. Consideration should be given to reviewing the HCD Plan policies and guidelines only as necessary to reflect any changes in municipal or Provincial heritage policy, or in response to changes in procedures or functions within the Town of Goderich.

B.3 Review of Current Policy Context (Provincial, Municipal)

A3.1 Provincial Heritage Planning Policies

The Provincial Policy Statement (PPS, 2005), the over-arching indication of the Provincial government's interest in planning matters, places heritage conservation on equal terms with other major planning matters, such as natural resources, natural resources and agriculture. Section 2.6, Cultural Heritage and Archaeology, states that (2.6.1) *Significant built heritage resources and significant cultural heritage landscapes shall be conserved* (italicized terms are defined within the PPS). The remainder of the section provides policies for the conservation of *areas of archaeological potential* and for the assessment and mitigation of impact of *development or site alteration on adjacent lands to protected heritage property*. This policy applies to Heritage Conservation Districts as well as to individually listed or designated properties.

The primary Provincial heritage policies are found in the *Ontario Heritage Act* (2005). Subsection 41.2 accords the provisions of an HCD Plan priority over public works practices and other municipal by-laws:

- (1) *Despite any other general or specific Act, if a heritage conservation district plan is in effect in a municipality, the council of the municipality shall not,*
 - a) *Carry out any public work in the district that is contrary to the objectives set out in the plan; or*
 - b) *Pass a by-law for any purpose that is contrary to the objectives set out in the plan.*
- (2) *In the event of a conflict between a heritage conservation district plan and a municipal by-law that affects the designated district, the plan prevails to the extent of the conflict, but in all other respects the by-law remains in full force.*

A3.2 Municipal Heritage and Urban Design Policies and Guidelines

Official Plan (January 29, 2009: consolidated February, 2013)

The updated Official Plan enhances the heritage conservation policies and guidelines of the previous Official Plan and makes specific reference to the parts of the downtown core under consideration for designation as a Heritage Conservation District, as well as the areas already within the two existing HCDs. As a result, there is no need to make immediate revisions to the Plan beyond confirming the designation of the three HCDs, and modifying the schedule accordingly to indicate the revised District boundaries. However, it is advisable in future to update some parts of the Official Plan policies to be in accordance with the policies and guidelines of the District Plan. Assuming that all three HCDs are designated, suggested revisions include the following:

- Section 2 Residential D 10): the terminology should be “protected heritage properties” and they should be required to be in compliance with the policies and guidelines of the District Plan.
- Section 3 Commercial Downtown Core:
 - 2) should be revised to name the three HCDs, and Schedule D should be revised to reflect the new District boundaries
 - 3) the terminology should change from “should” to “shall”
 - 4) and 5) the built form elements described should be required to conform to the policies and guidelines of the District Plan and the Downtown Master Plan
 - 6) should be revised to require conservation and enhancement of Court House Square and Park to be in conformity with the policies and guidelines of the District Plan and the Downtown Master Plan
- Section 7 Community Culture and Economic Development D Heritage: 3) the terminology should change from “retained” to “conserved”
- Section 10 Implementation F Site Plan Control: criteria for Site Plan Control review should be required to be in conformity with the policies and guidelines of the District Plan

Zoning By-law (December, 2013)

It is fortunate that the current Zoning By-law has been so recently updated, and done so in anticipation of the current District Plan. As a result, there are few parts that will need to be revised in future. These include:

- Definitions: these should use the definitions found in the Provincial Policy Statement, such as “protected heritage property”, “significant”, “built heritage resource”, “cultural heritage landscape”, “areas of archaeological potential”, “archaeological resources”, “development” and “site alteration”
- Section 14. 1 Core Commercial (C4): consideration should be given to prohibiting drive-through commercial in this zone

Site Plan Control Applications

The current application form should be revised as follows:

- Section 2.6: terminology should read “protected heritage property as designated under Part IV or V of the *Ontario Heritage Act*”
- Part V Required Studies: should include under Planning Impact Studies (Heritage Impact Statements, Conservation Plans, Stage 1 Archaeological Assessments)

Sign By-law (1997: By-law 48-97)

The section dealing with Heritage Conservation Districts should be revised, as follows:

- Section 14.2.1 should refer to all three HCDs and by name

- Section 14.3.1 should refer instead to the heritage attributes of the property, as identified in the HCD Study and, in the case of properties designated under Part IV of the *Ontario Heritage Act*, to the heritage attributes listed in the designating by-law. All signage within the three HCDs should be required to be compatible with the policies and guidelines of the District Plan.
- Section 14.4.1 should refer to the Goderich Municipal & Marine Heritage Committee

A3.3 Financial Incentives and Strategies (e.g. CIP)

In common with other Ontario municipalities, Goderich is seeking ways to promote heritage conservation. One way to do so is to offer financial incentives to property owners; another is to provide a heritage application review process that is quick and clear, thus reducing costly delays in undertaking the work. At present, neither the Provincial nor federal governments offer funding programs for heritage conservation work, although such programs have been available in the past, from time to time. Currently there are also no private foundations, non-governmental organizations or trusts that offer financial assistance for building conservation. In the absence of such programs, the municipality is left with two primary choices: grants and loans supplied by the municipality; and a speedier review process for heritage applications.

The first approach is best undertaken within a Community Improvement Plan (CIP). Goderich has such a plan (June 5, 2008). It has as one of its goals “to protect and enhance the heritage character of the downtown” (goal 6, p.4). The CIP covers the entire “square proper” out to the boundary streets of Nelson, Victoria, Elgin and Waterloo, and area that coincides with the Heritage Conservation Districts’ boundaries. Projects within that area are eligible for incentives offered within the Community Improvement Plan. Three financial incentives are offered: a façade improvement grant program; a fee grant equivalent program; and a tax increment equivalent grant program. Details of each, eligibility criteria and the application process are provided in the CIP Plan. Though modest, each of these programs offers a good start to those considering changes to their property.

The second approach is being taken by the development of this Heritage Conservation District Plan. Through laying out a clear set of policies and guidelines, as well as a simple review process for heritage conservation work, the municipality is making it as easy as possible for property owners to do maintenance and alteration work that conserves and enhances heritage resources. This not only reduces risk for owners considering an investment in such work, it also encourages owners to do the work in ways that follow the Plan’s guidelines.

In each of these strategies, the underlying intent is to provide property owners with the information – and the will – to do what is best for the heritage character of their property. The hoped-for result is the creation, over time, of what has been termed a “culture of conservation” in which property owners, as well as contractors, real estate agents, and others involved in working with older properties, automatically do “the right thing” without the need for advice or even, perhaps, municipal regulation. The HCD Plan is an important step towards the realization of that goal.

Appendix B – Inventory and Evaluation

B.1 Purpose and Scope

The inventory and evaluation of individual properties contained in the proposed Goderich Heritage Conservation District was conducted as a supplementary exercise to the area-wide assessment outlined in the Study and Plan. The inventory and field survey process was based on best practices outlined in the “Heritage Property Evaluation” section of the Ontario Heritage Tool Kit. The cursory review of the aggregate of buildings, streets and opens spaces in the study area involved the survey and analysis of each individual property and its contribution to the collective asset – the District. This included the consideration of: historical associations, architecture, vernacular design, integrity, architectural details, landmark status or group value, landscapes and opens spaces, overall spatial pattern, land use, circulation network and patterns, site arrangements, vegetation patterns and historic views. The primary focus of the inventory and field surveys was built heritage, while other landscape and contextual features were identified, where applicable. The preliminary evaluation involves a rating of each individual property as to whether it contributes to the area character identified in the *Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes*.

Purpose of the Inventory and Preliminary Evaluation:

- Provides a visual record of properties, streetscapes and other features of the public realm for future analysis.
- Provides supplemental information on the notable building features (possible heritage attributes or character-defining elements) of individual properties as they relate to the *Description of Heritage Attributes* outlined in the Plan.
- Identifies features that may be worthy of conservation and management through the heritage permit process.
- Summarizes the historical information provided in The Square and West Street Heritage Conservation District documents and in Register listings.
- Provides baseline data that can be used for the identification and analysis of themes and trends, such as architectural styles, dates of construction, types of construction and vernacular design (e.g., Goderich porch).
- Identifies properties of interest (“Significant”) that may warrant further assessment for additional protection. The historical background and identification of themes and important periods in the town's evolution outlined in the Study may provide the framework for further analysis of these properties and a starting point for more comprehensive historical research.

Scope – Limitations:

- Inventories are a work in progress that should be revised and updated as needed and as local resources permit.

- Inventories should continue to evolve as the cultural heritage values or interests of the community also change.
- The preliminary evaluation does not constitute a comprehensive review of the cultural heritage value or interest the individual properties, as would be undertaken as part of an evaluation for potential designation under Part IV of the *Ontario Heritage Act*. Additional research (e.g. primary archival research) was not conducted as part of the preliminary evaluation. Any property being considered for significant changes, such as major alterations, demolition or new construction should be evaluated in greater detail, in accordance with the criteria provided in Regulation 9/06 of the *Ontario Heritage Act*.

B.2 Methodology

Field Survey

Field survey forms were developed outlining what information would be gathered during the survey process. The field survey form represents a succinct summary of the baseline information necessary to assess the cultural heritage value or interest of a property, while fields such as the municipal roll number and status are important for creating a consistent database of information to track the resources over time. The content gathered as part of the field survey process reflects best practices, including what is outlined in the “Heritage Property Evaluation” section of the Ontario Heritage Tool Kit.

Key data fields include:

- Municipal Address (Upper street number, lower street number, street name, direction)
- Roll Number (ARN, acquired from Huron County GIS mapping)
- District (The Square, West Street) and Block-Street Side (1 through 8, north/south)
- Designation and Register Status
- Quadrant (NE, NW, SE, SW, Square)
- Date of Construction
- Historical or Common Name
- Land Use (Current, Historical, based on documentation and field surveys)
- Property Description:
 - Storeys
 - Architectural Style/Influence (based on Goderich Architectural Styles brochure)
 - Massing (Single detached, semi-detached row, etc.)
 - Setback (Deep, moderate, shallow, at ROW)
 - Roof Type and Cladding
 - Construction Material and Cladding
 - Notable Building Features (including Goderich Porch)
 - Accessory Structures and Type of Garage
 - Secondary Addresses
- Contextual Analysis (Landmark, Grouping, Vista, Context, Type of Streetscape)

- Architect and Historical Associations
- Integrity Status (including: alterations, demolition status and date of demolition, reconstruction, tornado damage) (Note – tornado damage information gathered from the tornado report provided by the Town)
- Additional Notes
- Preliminary Evaluation (Contributing, Significant)
- Survey Date/Surveyor

Field surveys were conducted May 24 through May 26, 2013. When the actual field surveys were conducted the decision was made not to fill out the forms on site for the sake of efficiency and due to inclement weather. As a result, the information collected for each property was inputted into the inventory database (see below) using the survey photographs as reference as they were being organized and sorted into individual folders for each property. The images were also sorted and organized into folders containing the following contextual categories: landmarks, corner properties, streetscapes, streetscaping and viewsheds. As such, the content from the field survey forms have been amalgamated into the final Inventory Survey Forms.

Inventory

A database was compiled containing key property information on each parcel in study area. The database contains unique identifiers for each parcel of land, including the municipal addressees and roll numbers (ARN), which can later be used to map the information gathered through the field survey and evaluation process and inputted into the database. The database contains all of the fields found in the field survey form, which can be searched, sorted and analyzed.

Evaluation

A system of comparative ratings or rankings of inventoried properties is a common practice employed to help set priorities for further research, heritage conservation and/or long-term protection under the *Ontario Heritage Act* (Ontario Heritage Toolkit). After conducting the field surveys and inputting the data into the inventory database, a preliminary evaluation was conducted to identify properties that contribute to the area character, as well as significant properties that may warrant further assessment or protection. Each of these categories is discussed in more detail below.

Contributing/Non-Contributing

The Plan recognizes that the study area retains many heritage resources and provides a coherent collection of representative properties from almost two centuries of the town's development and conforms to the characteristics of heritage conservation districts (as identified in the Ontario Heritage Toolkit) including: a concentration of resources that are aesthetically, historically and contextually linked; a framework of structured elements; a sense of visual coherence; and, a distinctiveness.

Further, "the area has value because of properties that represent key stages in the town's development, because the area is relatively unspoiled and intact, and because it offers a high concentration of some of the best buildings and commercial, residential and institutional streetscapes in Goderich. The area's heritage value lies both in its collection of individually important properties and in its combination of these resources within a compact, inter-woven urban form."

The categorization proposed assesses whether individual properties are “Contributing” or “Non-contributing” to the identified cultural heritage value of the area and the associated heritage attributes.

Contributing properties:

- **Support** the character of the area through:
 - Compatible design (e.g., vernacular design and materials)
 - Historical associations (e.g., constructed during key stages in the town’s development or associated with key themes in the town’s history)
 - Physical or visual links to its surroundings (e.g., part of a related row of commercial buildings or part of a cohesive residential streetscapes with consistent massing or setbacks)
- **Define** the character of the area because:
 - It is a landmark building (e.g., physical landmark or historical landmark)
 - It is historically linked to its surroundings and its integrity remains intact (e.g., a well-preserved late-19th century building)

Non-contributing properties:

- Disrupt the visual coherence through incompatible elements such as building scale, mass, height, material, proportion and colour, that are otherwise conveyed in the contributing properties in the district, as identified in the statement of cultural heritage value

Non-heritage buildings, such as contemporary or infill development, may be classified as contributing or non-contributing. For example, a contemporary or infill development may be compatible in terms of massing, materials, setback, etc., and could be considered contributing. Whereas a development that is incompatible, such as a commercial strip plaza with surface parking in the front, a deep setback, and proportions and lot size that are not in keeping with the surrounding character, would be considered non-contributing. Similarly, a contemporary residential infill development may be considered non-contributing if it has more horizontal proportions and unsympathetic features, such as attached front garage, that are not in keeping with the otherwise cohesive character of the adjacent properties (detached garages, parking located in the rear, etc.).

Significant

In addition to classifying properties as contributing or non-contributing, the preliminary evaluation included the identification of potentially significant properties that may warrant further assessment or protection. Use of the term “significant” in evaluating these properties is intended to “flag” these properties for their potential significance but does not assume that the properties warrant individual, additional heritage protection.

Significant properties may be:

- Designated under Part IV of the *Ontario Heritage Act* (extant)
- Designated under Part V of the *Ontario Heritage Act* (extant)
- Listed on the Register as non-designated properties (extant)
- Properties believed to meet criteria set out in Ontario Regulation 9/06 (e.g., displays a high degree of craftsmanship or artistic merit)

- Contributing properties that define character of the area (e.g., landmark buildings)
- Contributing properties support the character of the area (e.g., constructed in the late-19th century and early 20th-century)

Properties previously designated under Part IV or Part V of the *Ontario Heritage Act* or listed on the Register that are not extant (i.e., have been damaged and subsequently demolished due to the tornado) have not been classified as significant as the physical value has been removed. Furthermore, non-heritage designated properties in the existing Heritage Conservation Districts have not been classified as significant at this time.

B.3 Survey Field Descriptions

The field entries are based on visual inspection and substantiated, where possible, from existing documentation and historical mapping. Information that is inferred or supplemental has been placed in brackets. For example: “Cladding: (Wood) siding”, indicates that a building is clad with siding that is believed to be wood; whereas “Roof Type: Gable (cross)”, indicates that the building has a gable roof that has a cross formation. Fields that are not applicable, unknown or cannot be inferred have been left blank.

Quadrant: The study area was divided into four quadrants centred on the intersection of East, West, North and South Streets. Each property is identified as being in one of the following quadrants: NE – Northeast, NW – Northwest, SE – Southeast, SW – Southwest, and the Square.

ARN: Area Roll Number

Altered: Altered properties have had heritage attributes removed or replaced. Unaltered properties have heritage attributes that have remained mostly intact and may have been subject to sympathetic alterations or additions.

Estimated Date of Construction: Based on existing historical information or estimates derived from historical mapping. Where substantive research has not been conducted, date ranges have been provided in reference to available Fire Insurance Plan maps, such as “pre 1890” and “post 1925”.

Storeys: The number of floors or levels of a building. Based on visual inspection and cross-referenced with heights identified in historical mapping.

Massing: The general shape of a building, e.g., single detached, semi detached, row, etc.

Plan: The shape of the footprint of a building, e.g., rectangular, L-shaped, square, irregular, etc.

Setback: The relative distance a building is setback from the public right-of-way. May include: deep, moderate, shallow, or at ROW (right-of-way).

Building Construction Material: The material a building was constructed with, e.g., wood, brick, stone, etc.

Cladding: The material a building is covered with, e.g., siding, shingles, brick, stucco, stone veneer, etc.

Roof Type: The general shape or design of the roof of a building, e.g., hip, gable, flat, gambrel, etc.

Roof Materials: The material cladding the roof, e.g., asphalt, slate, metal, etc.

Architectural Style or Influence: Based on Goderich Architectural Styles brochure, e.g., Italianate, Second Empire, Georgian, Queen Anne, Gothic Revival, Ontario Cottage, etc.

Notable Building Features: A brief description of notable architectural features of the building.

Landscape Features: A brief description of any notable landscape features, e.g. mature vegetation, grading, etc.

Landmark: As identified previously in existing documents or perceived as a local landmark through the field survey process, e.g., Bedford Hotel, church spires, etc.

Viewshed: An area that is visible to the human eye from a fixed vantage point that tends to have a particular scenic value. Viewsheds may have developed organically or have been planned as part of a landscape (e.g., radial pattern of the town square). Viewsheds may also have historic value.

Vistas: An often pleasing view or prospect, especially one seen through a long, narrow avenue or passage, as between rows of trees or houses. Terminating vistas have also been identified, e.g., the Courthouse.

Grouping: A concentration of built resources that are physically or visually linked, e.g., a row of commercial units.

Context - Other: The identification of other contextual elements, such as corner buildings and gore-shaped properties formed by the intersection of the radiating NE, NW, SE and SW streets with perpendicular grid pattern.

Associated Cultural Heritage Landscape: The identification of associated cultural heritage landscapes, if applicable, including residential, commercial and mixed-use streetscapes and designed landscapes.

Alterations: A brief description of physical alterations to notable building features or heritage attributes identified through visual inspection and from existing resources.

Tornado Impact: Extent of damage to a building caused by the 2011 tornado, compiled from post-tornado survey information.

B.4 Supplementary Definitions

Integrity: as defined in the OHT (Heritage Property Evaluation, p 26):

Integrity is a question of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property. For example, a building that is identified as being important because it is the work of a local architect, but has been irreversibly altered without consideration for design, may not be worthy of long-term protection for its physical quality. The surviving features no longer represent the design; the integrity has been lost. Cultural heritage value or interest may be intertwined with location or an association with another structure or environment. If these have been removed, the integrity of the property may be seriously diminished. Similarly, removal of historically significant materials, or extensive reworking of the original craftsmanship, would warrant an assessment of the integrity. There can be value or interest found in the evolution of a cultural heritage property. Much can be learned about social, economic, technological and other trends over time. The challenge is being able to differentiate between alterations that are part of an historic evolution, and those that are expedient and offer no information value.

Inventory and Preliminary Evaluation

Contributing Properties: 193

Non-Contributing Properties: 37

Address	Current Heritage Status				Quadrant	Preliminary Evaluation	
	Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
42 Church Street					NW	Yes	Yes
46 Church Street					NW	Yes	No
47 Church Street					NW	Yes	Yes
50 Church Street					NW	Yes	Yes
56 Church Street				Yes	NW	Yes	Yes
57 Church Street					NW	No	No
58 Church Street					NW	Yes	Yes
64 Church Street				Yes	NW	Yes	Yes
68 Church Street				Yes	NW	Yes	Yes
35 Colborne Street	Court House Square	7			NW	No	No
51 Colborne Street				Yes	NW	Yes	Yes
54 Colborne Street				Yes	NW	Yes	Yes
61 Colborne Street					NW	Yes	Yes
65 Colborne Street				Yes	NW	Yes	Yes
66 Colborne Street				Yes	NW	Yes	Yes
69 Colborne Street				Yes	NW	Yes	Yes
72 Colborne Street				Yes	NW	Yes	Yes
73 Colborne Street					NW	Yes	No
80 Colborne Street				Yes	NW	Yes	Yes
83 Colborne Street				Yes	NW	Yes	Yes
1 Court House Square	Court House Square	9			Square	Yes	Yes
1 Court House Square	Court House Square	9			Square	Yes	Yes
2 Court House Square	Court House Square	1			NW	Yes	Yes
4 Court House Square	Court House Square	1			NW	Yes	Yes
8 Court House Square	Court House Square	1			NW	Yes	Yes

Address		Current Heritage Status				Quadrant	Preliminary Evaluation	
		Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
10		Court House Square	1			NW	Yes	Yes
12		Court House Square	1			NW	Yes	Yes
14		Court House Square	1			NW	Yes	Yes
16		Court House Square	1			NW	Yes	Yes
18		Court House Square	1			NW	Yes	Yes
24		Court House Square	7			NW	Yes	Yes
30		Court House Square	7			NW	Yes	Yes
32		Court House Square	7			NW	Yes	Yes
34		Court House Square	7			NW	Yes	Yes
36		Court House Square	7			NW	Yes	Yes
40		Court House Square	7			NW	Yes	Yes
44		Court House Square	8			SW	No	No
50	52	Court House Square	8			SW	No	No
54		Court House Square	8			SW	No	No
56	58	Court House Square	8			SW	Yes	No
68		Court House Square	3			SW	Yes	Yes
70		Court House Square	3			SW	Yes	Yes
72	76	Court House Square	3			SW	Yes	Yes
80		Court House Square	3			SW	No	No
92		Court House Square	4			SE	Yes	Yes
104	108	Court House Square	4			SE	Yes	Yes
112	114	Court House Square	6			SE	No	No
116		Court House Square	6			SE	No	No
120		Court House Square	6			SE	No	No
122		Court House Square	6			SE	Yes	Yes
124		Court House Square	6			SE	Yes	Yes
128		Court House Square	6			SE	No	No
138		Court House Square	5			NE	Yes	No
140		Court House Square	5			NE	Yes	Yes
142		Court House Square	5			NE	Yes	Yes

Address			Current Heritage Status				Quadrant	Preliminary Evaluation	
			Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
144	146	Court House Square	Court House Square	5			NE	Yes	Yes
148		Court House Square	Court House Square	5			NE	Yes	Yes
150		Court House Square	Court House Square	5			NE	Yes	Yes
158		Court House Square	Court House Square	2			NE	Yes	Yes
162		Court House Square	Court House Square	2			NE	Yes	Yes
164		Court House Square	Court House Square	2			NE	Yes	Yes
166	168	Court House Square	Court House Square	2			NE	Yes	Yes
170	172	Court House Square	Court House Square	2			NE	Yes	No
33		East Street	Court House Square	5			NE	Yes	Yes
35		East Street					NE	Yes	Yes
37		East Street					NE	Yes	No
38		East Street				Yes	SE	No	No
40		East Street					SE	Yes	Yes
44		East Street					SE	Yes	No
46	48	East Street					SE	Yes	Yes
50	54	East Street					SE	Yes	No
56		East Street					SE	Yes	No
60		East Street					SE	Yes	No
64		East Street					SE	Yes	Yes
23		Elgin Avenue East				Yes	SE	Yes	Yes
16		Elgin Avenue West					SW	Yes	Yes
20		Elgin Avenue West					SW	Yes	Yes
34		Elgin Avenue West				Yes	SW	Yes	Yes
46		Elgin Avenue West				Yes	SW	Yes	Yes
33		Hamilton Street					NE	Yes	Yes
36		Hamilton Street					NE	No	No
36		Hamilton Street					NE	No	No
37		Hamilton Street					NE	No	No
53	59	Hamilton Street				Yes	NE	Yes	Yes
61		Hamilton Street					NE	Yes	No

Address			Current Heritage Status				Quadrant	Preliminary Evaluation	
			Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
63	65	Hamilton Street					NE	No	No
66		Hamilton Street					NE	Yes	No
72	76	Hamilton Street					NE	Yes	No
73		Hamilton Street					NE	Yes	Yes
75	77	Hamilton Street				Yes	NE	Yes	Yes
79		Hamilton Street					NE	Yes	No
80		Hamilton Street			Yes		NE	Yes	Yes
81		Hamilton Street					NE	Yes	No
91		Hamilton Street					NE	Yes	Yes
		Hamilton Street					NE	No	No
29	33	Kingston Street	Court House Square	6	Yes	Yes	SE	No	No
34		Kingston Street				Yes	SE	Yes	Yes
36		Kingston Street				Yes	SE	Yes	Yes
37		Kingston Street					SE	No	No
51		Kingston Street					SE	No	No
55		Kingston Street					SE	Yes	Yes
56		Kingston Street					SE	Yes	Yes
59		Kingston Street				Yes	SE	Yes	Yes
67		Kingston Street					SE	No	No
74		Kingston Street					SE	No	No
84		Kingston Street					SE	Yes	No
87		Kingston Street					SE	No	No
100		Kingston Street					SE	Yes	Yes
44		Lighthouse Street					SW	Yes	Yes
50		Lighthouse Street					SW	Yes	Yes
53		Lighthouse Street					SW	Yes	Yes
57		Lighthouse Street					SW	Yes	No
60		Lighthouse Street					SW	No	No
		Lighthouse Street					SW	No	No
37		Market Street					SW	Yes	Yes

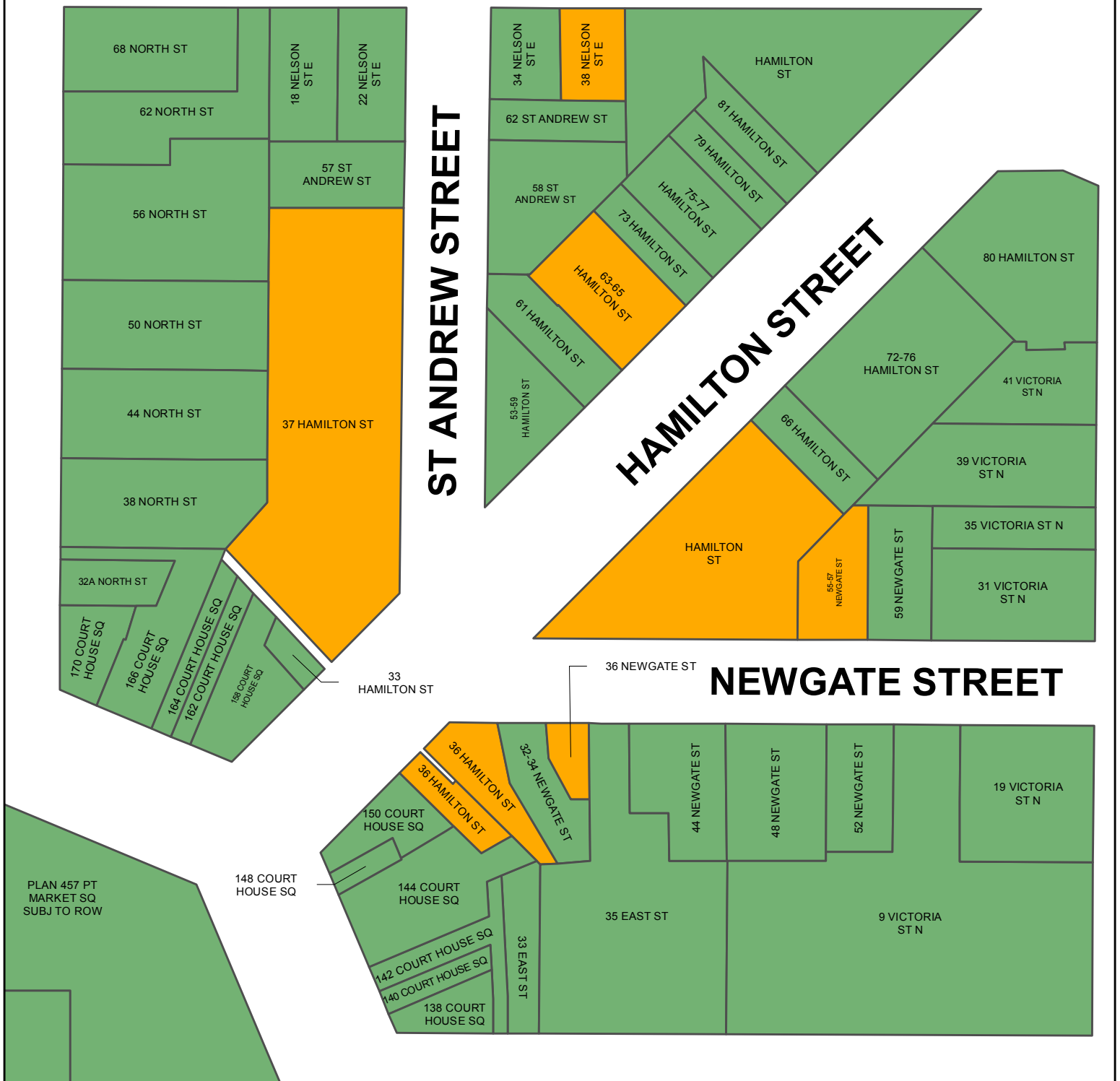
Address	Current Heritage Status				Quadrant	Preliminary Evaluation	
	Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
43	Market Street				SW	Yes	Yes
49	Market Street				SW	Yes	Yes
50	Market Street			Yes	SW	Yes	Yes
53	Market Street				SW	No	No
57	Market Street				SW	Yes	Yes
58	Market Street			Yes	SW	Yes	Yes
65	Market Street				SW	No	No
33	Montreal Street		Yes		SW	Yes	Yes
39	Montreal Street			Yes	SW	Yes	Yes
52	Montreal Street		Yes		SW	Yes	Yes
55	Montreal Street			Yes	SW	Yes	Yes
59	Montreal Street				SW	Yes	Yes
60	Montreal Street				SW	Yes	No
65	Montreal Street		Yes		SW	Yes	Yes
66	Montreal Street			Yes	SW	Yes	Yes
72	Montreal Street				SW	Yes	Yes
73	Montreal Street				SW	Yes	Yes
77	Montreal Street				SW	Yes	No
78	Montreal Street				SW	Yes	Yes
82	Montreal Street			Yes	SW	Yes	Yes
85	Montreal Street			Yes	SW	Yes	Yes
18	Nelson Street East			Yes	NE	Yes	Yes
22	Nelson Street East			Yes	NE	Yes	Yes
34	Nelson Street East				NE	Yes	Yes
38	Nelson Street East				NE	No	No
15	Nelson Street West				NW	Yes	No
37	Nelson Street West			Yes	NW	Yes	Yes
49	Nelson Street West			Yes	NW	Yes	Yes
32	34 Newgate Street				NE	Yes	No
36	Newgate Street				NE	No	No



Address	Current Heritage Status				Quadrant	Preliminary Evaluation	
	Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
44 Newgate Street					NE	Yes	No
48 Newgate Street					NE	Yes	Yes
52 Newgate Street					NE	Yes	No
55 57 Newgate Street					NE	No	No
59 Newgate Street					NE	Yes	No
36 North Street	Court House Square	2		Yes	NE	Yes	Yes
38 North Street	Court House Square	2		Yes	NE	Yes	Yes
41 North Street				Yes	NW	Yes	Yes
43 North Street				Yes	NW	Yes	Yes
44 North Street				Yes	NE	Yes	Yes
49 North Street				Yes	NW	Yes	Yes
50 North Street				Yes	NE	Yes	Yes
53 North Street				Yes	NW	Yes	Yes
56 North Street				Yes	NE	Yes	Yes
59 North Street				Yes	NW	Yes	Yes
62 North Street				Yes	NE	Yes	Yes
67 North Street				Yes	NW	Yes	Yes
68 North Street				Yes	NE	Yes	Yes
35 South Street			Yes		SE	Yes	Yes
42 South Street					SW	Yes	Yes
49 South Street					SE	No	No
50 South Street					SW	No	No
54 South Street					SW	Yes	No
55 South Street					SE	No	No
58 South Street					SW	Yes	Yes
64 South Street					SW	Yes	No
65 South Street					SE	Yes	No
68 South Street					SW	Yes	No
57 St. Andrew Street					NE	Yes	Yes
58 St. Andrew Street				Yes	NE	Yes	Yes

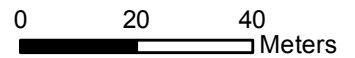
Address	Current Heritage Status				Quadrant	Preliminary Evaluation	
	Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
62	St. Andrew Street				NE	Yes	Yes
39	St. David Street				SE	Yes	No
54	St. David Street				SE	Yes	Yes
57	St. David Street				SE	Yes	Yes
60	St. David Street				SE	Yes	Yes
43	St. Patrick Street				NW	Yes	Yes
44	St. Patrick Street				NW	Yes	Yes
49	St. Patrick Street				NW	Yes	Yes
52	St. Patrick Street				NW	Yes	Yes
53	St. Patrick Street				NW	Yes	Yes
56	St. Patrick Street			Yes	NW	Yes	Yes
63	St. Patrick Street				NW	Yes	No
65	St. Patrick Street				NW	Yes	Yes
66	St. Patrick Street			Yes	NW	Yes	Yes
34	42 Stanley Street				SE	No	No
44	Stanley Street				SE	No	No
50	Stanley Street				SE	Yes	No
52	Stanley Street				SE	Yes	No
56	Stanley Street				SE	No	No
9	Victoria Street North			Yes	NE	Yes	Yes
19	Victoria Street North				NE	Yes	Yes
31	Victoria Street North			Yes	NE	Yes	Yes
35	Victoria Street North				NE	Yes	Yes
39	Victoria Street North				NE	Yes	Yes
41	Victoria Street North				NE	Yes	Yes
18	Victoria Street South				SE	Yes	Yes
22	Victoria Street South			Yes	SE	Yes	Yes
32	Victoria Street South			De-designated	SE	No	No
40	Victoria Street South			Yes	SE	Yes	Yes
44	Victoria Street South				SE	Yes	Yes

Address			Current Heritage Status				Quadrant	Preliminary Evaluation	
			Part V Designated HCD	Block-Streetside	Part IV Designated	Register (Non-designated)		Contributing	Significant
48	Waterloo Street	North				Yes	NW	Yes	Yes
54	Waterloo Street	North					NW	Yes	No
56	60 Waterloo Street	North				Yes	NW	Yes	Yes
21	Waterloo Street	South					SW	Yes	No
31	Waterloo Street	South				Yes	SW	Yes	Yes
39	Waterloo Street	South				Yes	SW	Yes	Yes
30	34 West Street		West Street	North			NW	Yes	Yes
31	West Street		West Street	South			SW	Yes	Yes
33	West Street					Yes	SW	Yes	Yes
35	West Street		West Street	South			SW	Yes	Yes
36	38 West Street		West Street	North			NW	Yes	Yes
37	41 West Street					Yes	SW	Yes	Yes
40	42 West Street		West Street	North			NW	Yes	Yes
43	West Street					Yes	SW	Yes	Yes
44	48 West Street		West Street	North	Yes (IV, V)		NW	Yes	Yes
45	West Street		West Street	South			SW	Yes	Yes
49	West Street		West Street	South			SW	Yes	Yes
50	West Street		West Street	North			NW	Yes	Yes
53	West Street		West Street	South			SW	Yes	Yes
54	West Street		West Street	North			NW	Yes	No
57	West Street		West Street	South	Yes (IV, V)		SW	Yes	Yes
58	62 West Street		West Street	North			NW	Yes	No
64	West Street					Yes	NW	No	No
65	West Street					Yes	SW	Yes	Yes
68	West Street		West Street	North			NW	Yes	No

NELSON STREET EAST

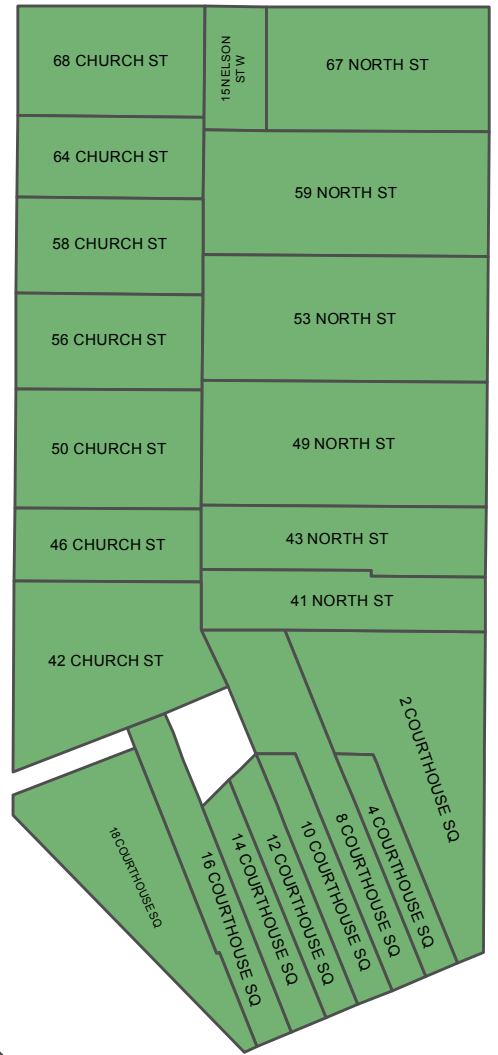


-  Contributing Properties
-  Non-Contributing Properties

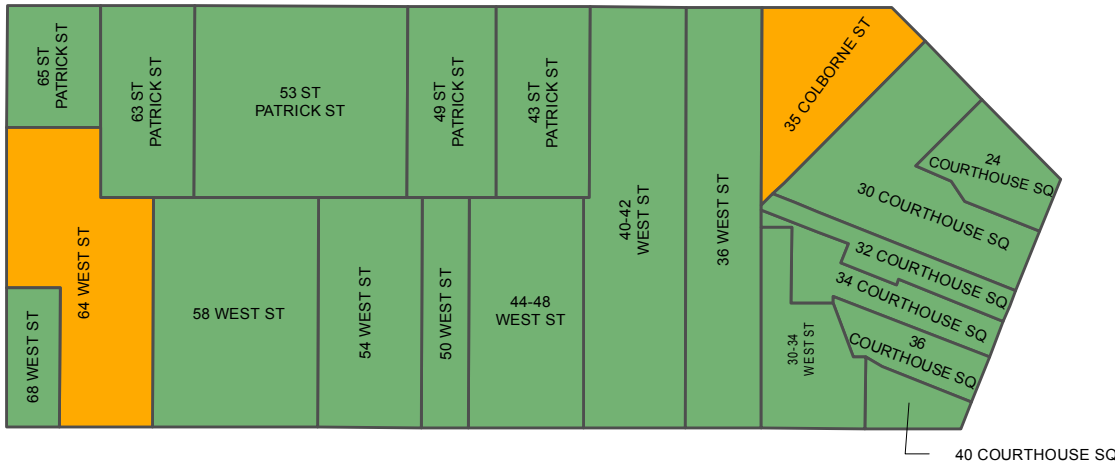




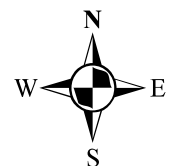
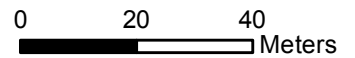
CHURCH STREET

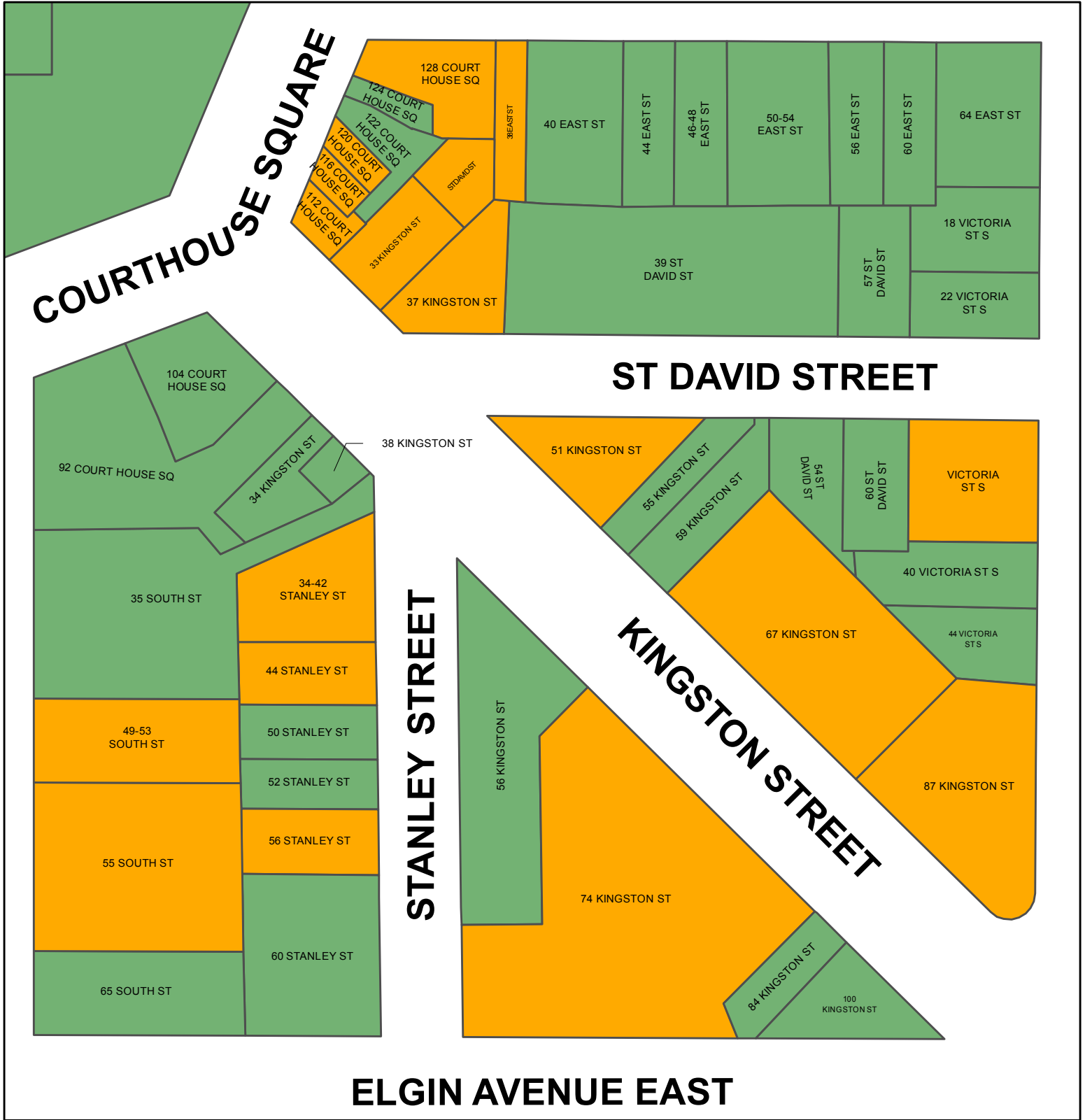


ST PATRICK STREET

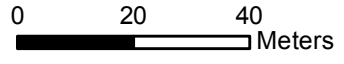


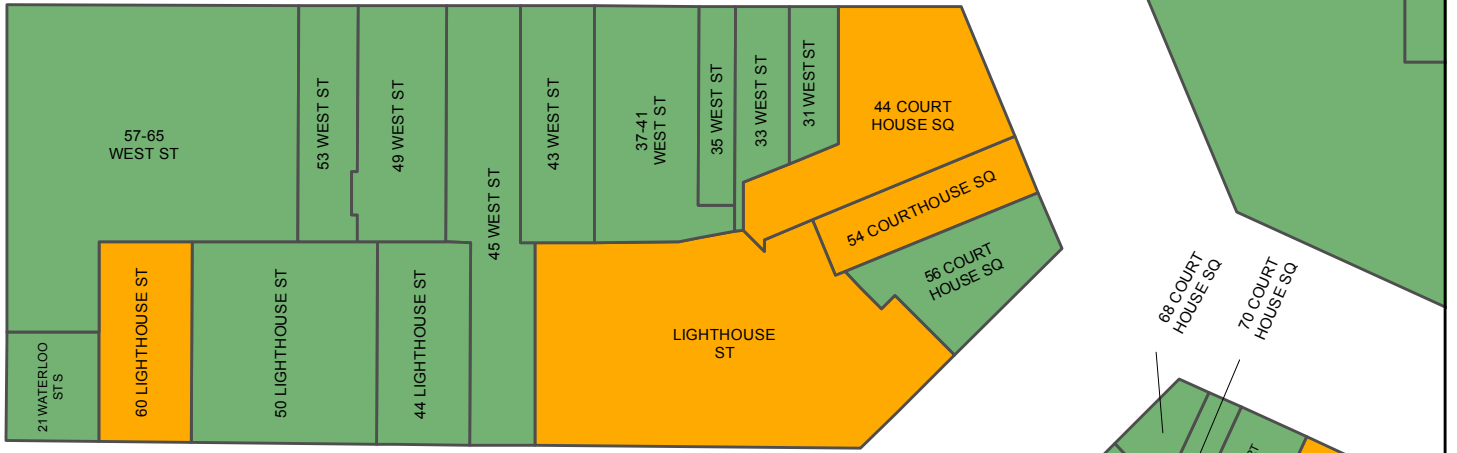
- Contributing Properties
- Non-Contributing Properties



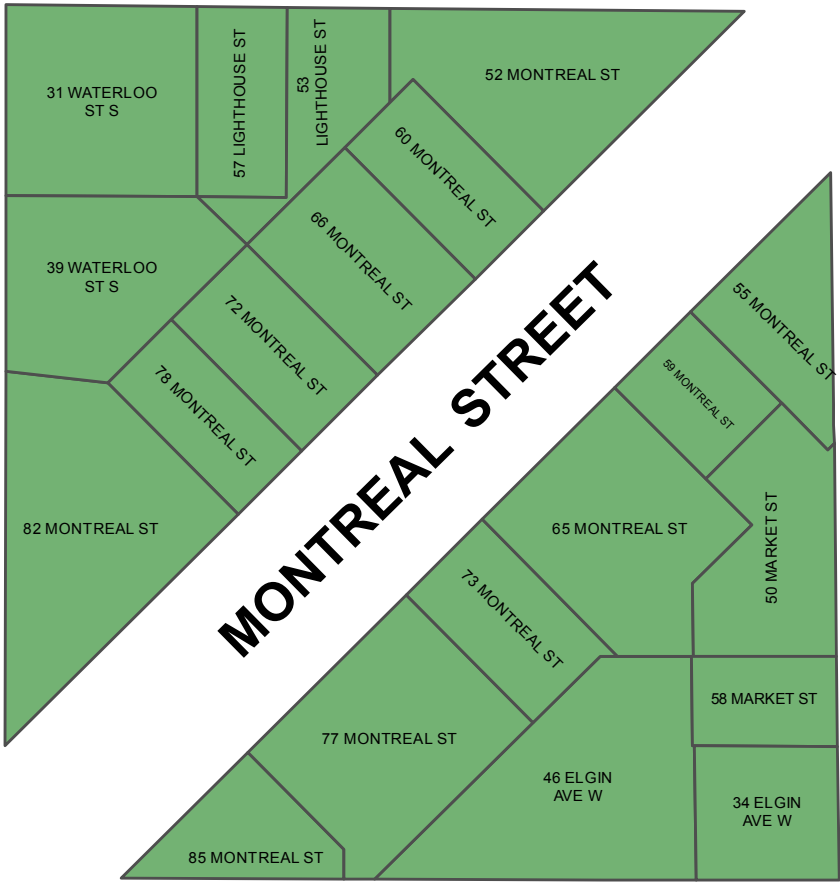


- Contributing Properties
- Non-Contributing Properties





LIGHTHOUSE STREET



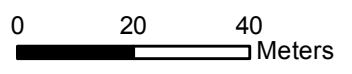
MONTREAL STREET



MARKET STREET

ELGIN AVENUE WEST

- Contributing Properties
- Non-Contributing Properties



Appendix C – Meetings and Study Team

The consulting team would like to thank the following people for their contributions to the HCD Study and Plan:

Study Steering Committee:

- Councillor Kevin Morrison (chair)
- Ken Crawford
- Jim Rutledge
- Nancy Hughes
- Roy Straughan
- Dennis Somerville
- Bob Davis
- William Menzel
- Lorraine Baechlar

Town of Goderich/Huron County Staff

- Dwayne Evans
- Denise Van Amersfoort
- Barb Mackenzie
- Larry McCabe

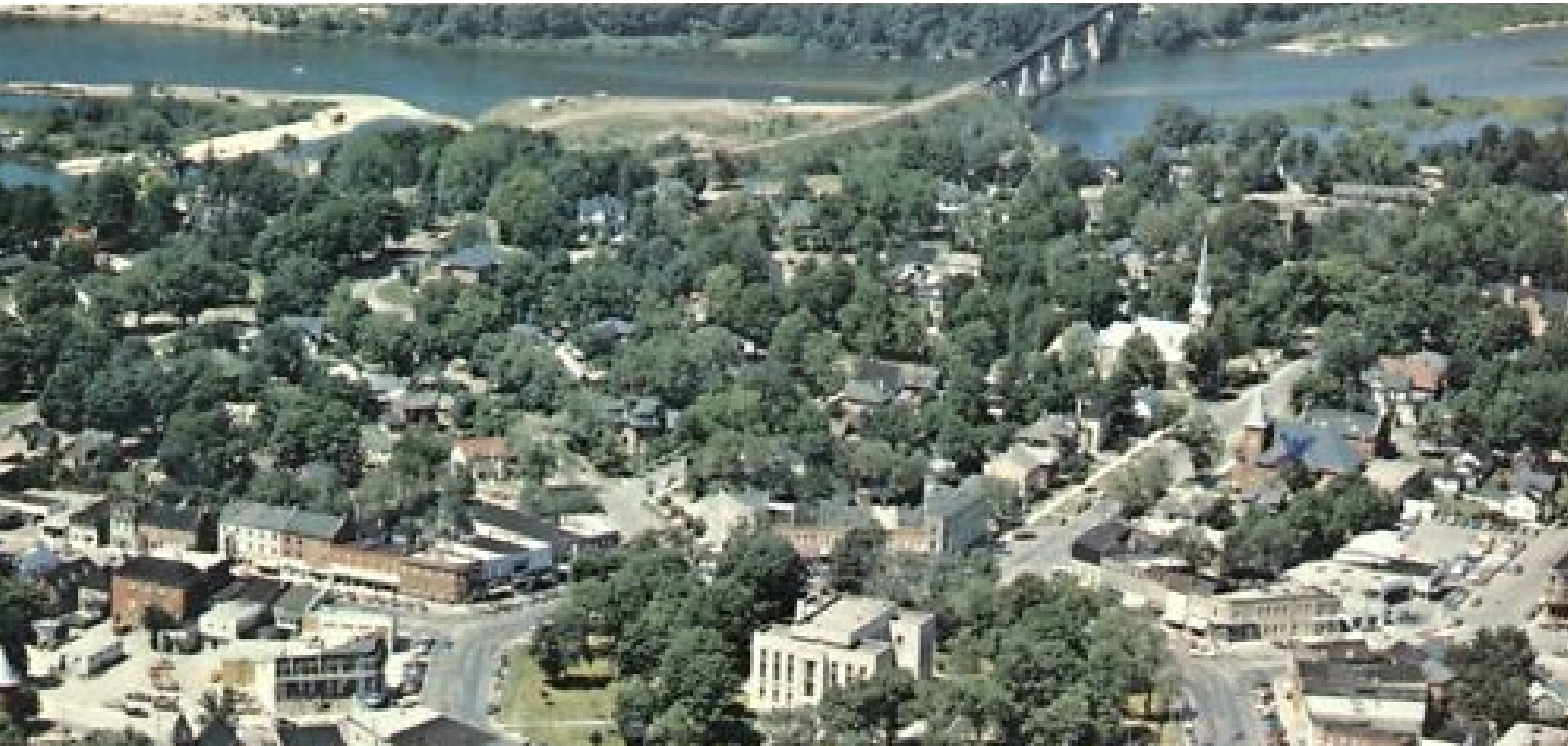
Meetings:

- 9 December, 2013 (Steering Committee, Council, adoption of District Study)
- 24 March, 2014 (Council, statutory public meeting for District Plan)

The consulting team consisted of Carl Bray and Alissa Golden of Bray Heritage, assisted by Ron Palmer, Wai Ying DiGiorgio and Rick Merrill (and their staff) of the Planning Partnership. The study team acknowledges the funding provided by the Ontario Ministry of Tourism, Culture and Sport as part of the “Creative Community Prosperity Fund”.

Appendix D –

Guidelines from the Downtown
Master Plan



Town of Goderich

Downtown Core Master Plan

Final: May 14, 2012

Acknowledgements

The Planning Partnership would like to thank the Rebuild Planning Advisory Steering Committee and the Deputy Mayor for their invaluable assistance in facilitating a collaborative process in Goderich and the community for the insight and ideas that have helped to form this Master Plan.

This Master Plan has been overseen by the Rebuild Planning Advisory Steering Committee which includes Chair John Grace, Vice-Chair Tom Jasper and the following:

- Deb Shewfelt, Mayor of Goderich
- Michele Hansen, Town Councillor
- Bod Davis
- Christopher Spaleta
- Donny Rivers
- Judy Walters
- Lorraine Baechler
- Mark Hussey

Administrative Support has been provided by the following staff:

- Larry J. McCabe, Clerk-Administrator
- Chip Wilson, Director of Operations/Huron County
- Martin Quinn, Parks/Cemetery Supervisor
- Denise Van Amersfoort, Planner

The preparation of this Master Plan Report has been led by Dan Leeming and Wai Ying Di Giorgio of The Planning Partnership with the assistance of other team members Rick Merrill and Michael Ormston-Holloway. Additional consulting team members include Nick Poulos, Carl Bray and Rowan Faludi.

Image on the cover - Postcard 'Goderich, Ontario, The Prettiest Town in Canada'

Executive Summary

The Downtown Master Plan and Court House Park Design were initiated by the Town of Goderich following the August 2011 tornado, which devastated much of the Downtown Area. The purpose of these initiatives is to provide the Town with an urban design framework that will guide future decisions related to the public realm, built form and planning policy.

At the onset of the project, The Planning Partnership facilitated a ‘visioning’ workshop to engage the community and stakeholders. The workshop provided insight into the needs and desires of the community, which allowed the project team to identify key principles to guide the Master Plan development. Ongoing consultation with the Steering Committee and input from Staff resolved any technical issues related to physical design and shaped the final Master Plan and Park Plan presented in this report.

The Downtown Master Plan and Court House Park Design make a number of recommendations which are grounded in the following Vision Statement:

‘The Downtown Core, with Court House Park at its centre, is the historic, symbolic, cultural and civic heart of Goderich. As such, it is envisioned as a pedestrian-oriented, mixed-use centre that is enhanced by the design of high-quality landscapes, streetscapes and buildings that respect, complement and highlight its unique heritage character.’

The Master Plan recognizes two distinct areas within the Downtown Core Area that warrant different land use and development policies related to their established character and their potential for future development; ‘The Downtown Core’ and ‘The Residential Quadrant’.

Within the Downtown Core area, the design recommendations include establishing a public art strategy in combination with enhanced planting in key locations around the outer square to create ‘Gateways’ to the Downtown Core. A reduction in the roadway width of the Square is recommended to allow the creation of an enhanced pedestrian streetscape and to promote a vibrant ‘Main Street’. Creating ‘Urban Squares’ at key intersections around the Square that may function as ‘Festival Plazas’ for pedestrians during community events and markets will also prioritize the pedestrian experience. Introducing groups of large canopy street trees at the eight intersections leading to the Square will frame views and create the sense of arrival upon entering the Square.

Respecting the heritage character of the Downtown Core is the primary consideration of the built form design recommendations of this report. The objective is to ensure that massing, height and design elements respond appropriately within their context. This includes consideration for such features as storefronts, doors, windows and signage along with recommendations that address setbacks, stepbacks and potential infill sites.

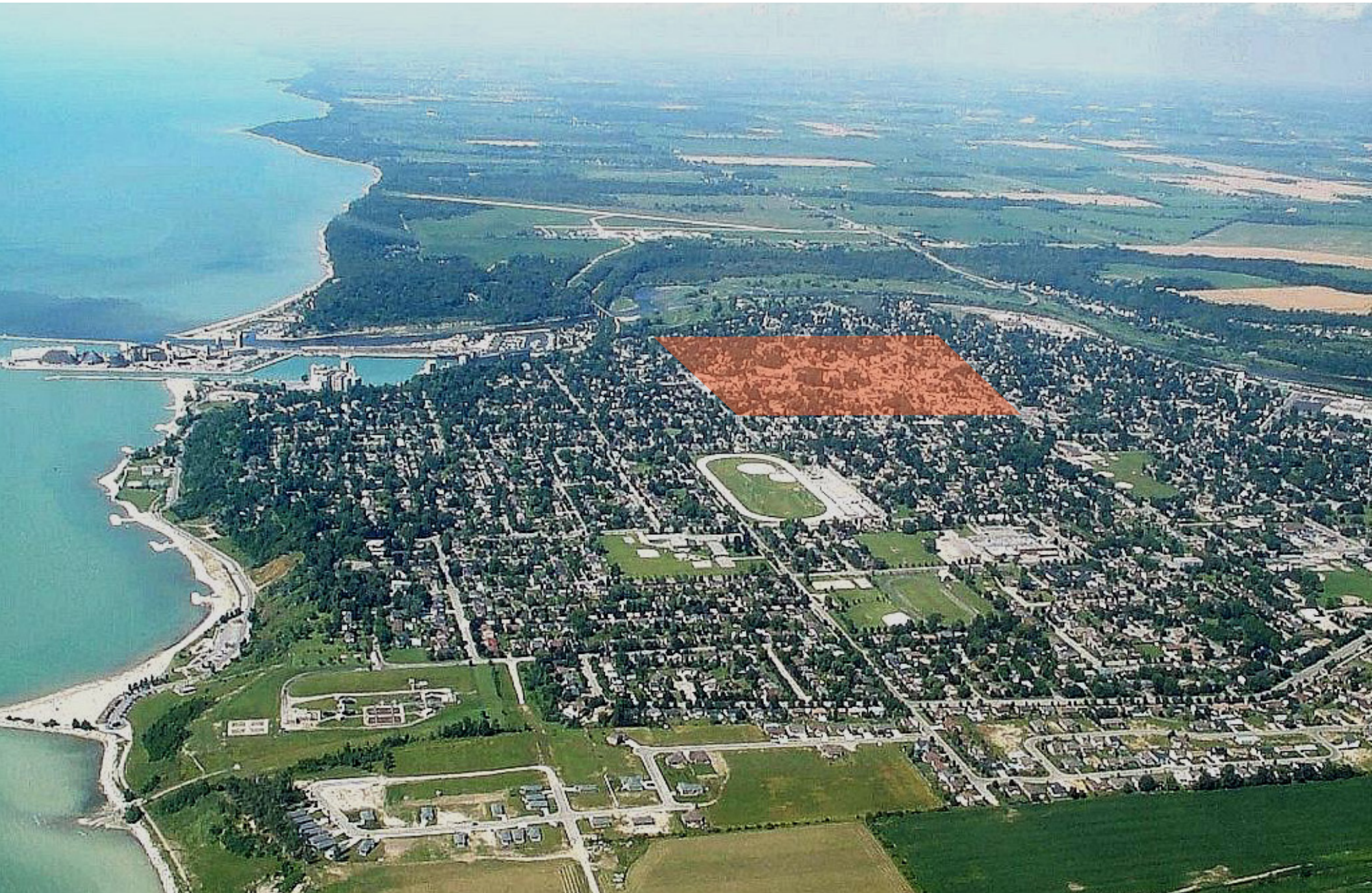
As the focus of the Square, Court House Park is an important public space where re-building efforts are to be focused in the immediate future. Its design is premised on four main proposals which include: the re-planting of significant numbers and sizes of trees to re-establish the historic character of the park, the creation of distinctly characterized outdoor ‘rooms’ which correspond to the four quadrants of the space, the re-establishment of the south building face as the main entrance (thereby relocating court services vehicular access to the north entrance) and the creation of a pedestrian walkway around the edge of the park that forms a ‘promenade’ around the Square. Inherent to the success of these recommendations is the principle that the park is a ‘car free’ zone, and a place for pedestrians and trees to thrive. Cars will continue to interact with the park space along its edge, where parking is permitted and where programmed events could take place as part of the animated and vibrant streetscape.

Working in tandem with the design recommendations for the Downtown Core and Court House Park, an overall planting strategy forms an important part of the Master Plan. This strategy seeks to re-establish a sustainable urban forest which is based on a successional approach that creates both short- and long-term canopies and on matching the right plant to the right location. Equally important to this precept is that healthy trees are dependent on healthy soil conditions. To this point, recommendations for amending poor existing soils and creating optimum soil conditions for long-term tree health are also provided.

The successful implementation of the Master Plan relies on the continued commitment and collaborative efforts of the Town, stakeholders and the community. A number of recommendations and action items are outlined to assist the Town in implementing this plan. These items identify requirements for financial funding and incentives, policy review and amendments, and stakeholder involvement. All of these items need to be carried out together in order to achieve the vision expressed in the Master Plan.

Table of Contents

i.	Acknowledgements				
ii	Executive Summary				
1.0	INTRODUCTION				
	1.1	Project Area			
			PAGE		
	1.1	Project Area	3		
	1.2	Context	5	4.0	PRIVATE REALM DESIGN GUIDELINES
	1.3	Study Objectives	11	4.1	General Policies for All Buildings
	1.4	Study Approach and Process	13	4.2	Heritage Design
	1.5	Vision Statement	15	4.3	East Block (Demonstration Plan)
	1.6	Guiding Principles	16	4.4	New Infill Development
2.0	PLANNING POLICY APPROACH			4.5	Build Within Zones and Built Frontage
	2.1	The Downtown Core Area	24	4.6	Encroachments
	2.2	The Residential Quadrant	31	5.0	IMPLEMENTATION
3.0	PUBLIC REALM DESIGN GUIDELINES			5.1	Formula for Success
	3.1	Court House Park	37	5.2	Action Plan
		3.1.1	The Grove		
		3.1.2	The Lawn		
		3.1.3	Commemorative Gardens		
		3.1.4	The Plaza		
	3.2	Streetscape Design	51		
	3.3	The Square (Promenade)	54		
	3.4	Primary Streets	56		
	3.5	Secondary (Residential) Streets	57		
	3.6	Proposed Vegetation	58		
	3.7	Greening Strategy for Streets	61		
	3.8	Greening Strategy for the Downtown Core Area	62		
	3.9	Coordinated Street Elements	67		
	3.10	Gateways	69		
	3.11	Viewscales	75		



Aerial View of Goderich

Introduction 1.0



*Postcard Photograph of the original Court House in 1892,
J. G. Henderson, Goderich*

On August 21, 2011 a category F3 tornado ripped through the Town of Goderich, causing an incredible amount of physical damage and destruction in its path. Buildings, businesses, homes and hundreds of trees were severely affected. One of the areas greatly impacted was the Downtown Core, which is the dominant centre of institutional, economic, social and cultural activity in the Town.

As part of the Town's and community's efforts to re-build this important area, The Planning Partnership was retained to prepare a Master Plan for the Downtown Core and a Landscape Design for Court House Park through a public Request for Proposals and selection process. The primary purpose of the Downtown Core Master Plan and Court House Park Design is to provide a framework to guide future decisions concerning physical form and implementation within the public and private realms.

As such, this Project has two components:

- A Downtown Core Area Master Plan, consisting of a master plan and report that captures a vision for the Downtown Core, established through an interactive community and stakeholder engagement process. The Plan and Report provide urban design guidance on public and private realm elements, and outline a strategy for the implementation of these elements; and,
- A Court House Park Design, consisting of a set of plans and drawings illustrating the specific components of the Court House Park, including walkways, planting, landscape structures, and site furniture.

This Master Plan includes a combination of existing policies and procedures as well as recommendations for refinements and new policy and administrative approaches. This Plan also includes an array of conceptual and detailed design. The approach to this Plan for the consulting team was to articulate their recommendations for the revitalization of Downtown Goderich. It will now be the responsibility of staff and Council to interpret these recommendations and turn them into action – both in the short and long-term.



**PROJECT
AREA**

Introduction 1.0

1.1 Project Area

The Project Area, as identified on to the left, is the administrative and cultural hub of the community. It is also a mixed-use residential neighbourhood, with service, commercial and retail activity. The retail component generally includes smaller-scale stores that serve more ‘boutique’ functions.

The Project Area includes an eclectic mix of buildings – different styles, different scales and constructed in different eras. Land uses vary from single detached homes to apartments, offices, retail stores and Town Hall. The Project Area supports an inventory of historic buildings identified according to a consistent set of standards.

The Project Area includes a relatively large geographic area defined by Nelson Street, Victoria Street, Waterloo Street and Elgin Avenue, effectively the area referred to as the Downtown Core. Within this Area, three distinct districts have emerged that reflect the historic development pattern as it has evolved over the past century and a half. These districts are identified as:

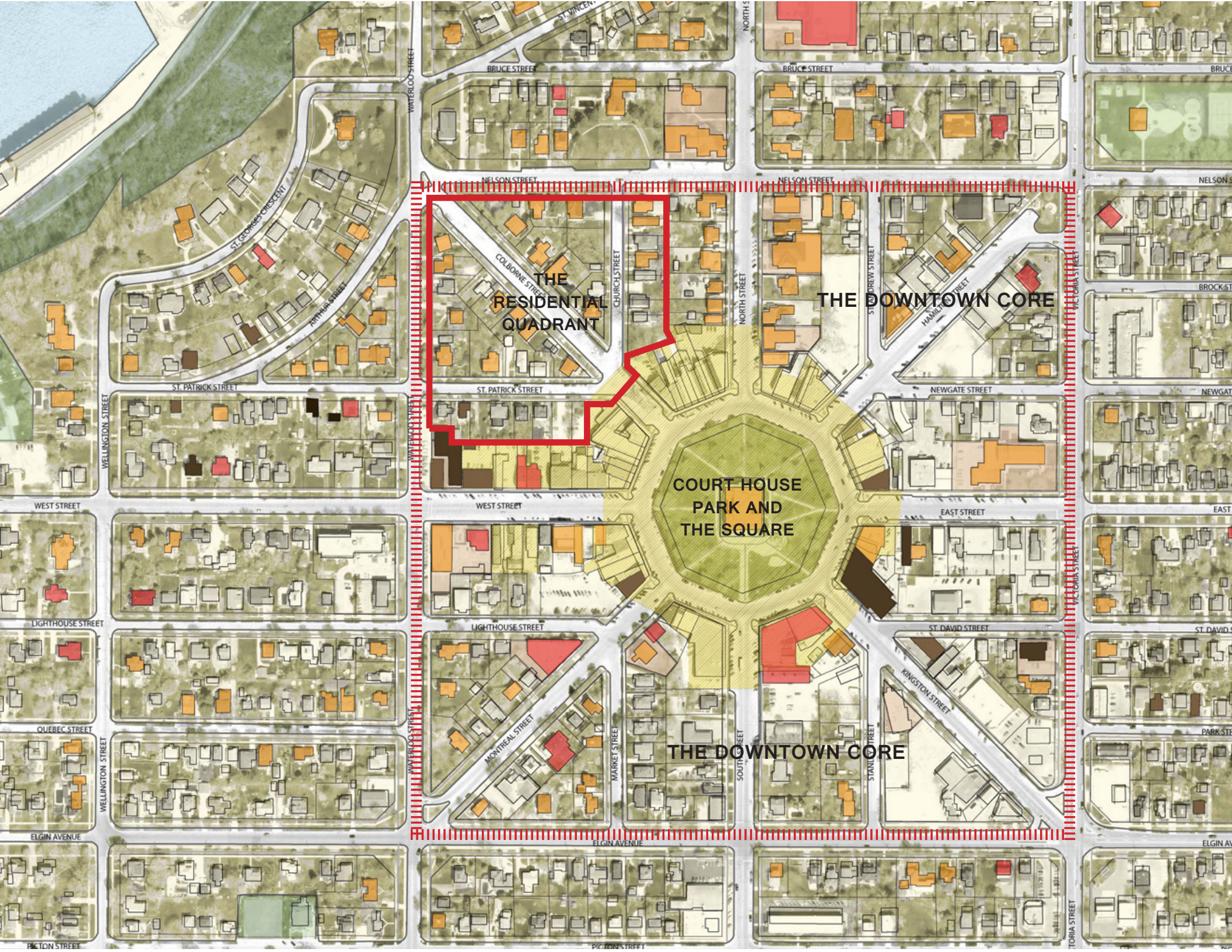
- Court House Park and The Square;
- The Downtown Core; and,
- The Residential Quadrant.

The redevelopment of The Square, The Downtown Core and, to a lesser extent, The Residential Quadrant will take place incrementally over the long-term. This redevelopment will respond to available funding, market forces, financial feasibility and political directions over many years.

To achieve continued success, it is imperative that a long-term commitment to revitalization and development is shown by the public sector, including the Town, the Province and, where appropriate, the Federal government.

The Project Area



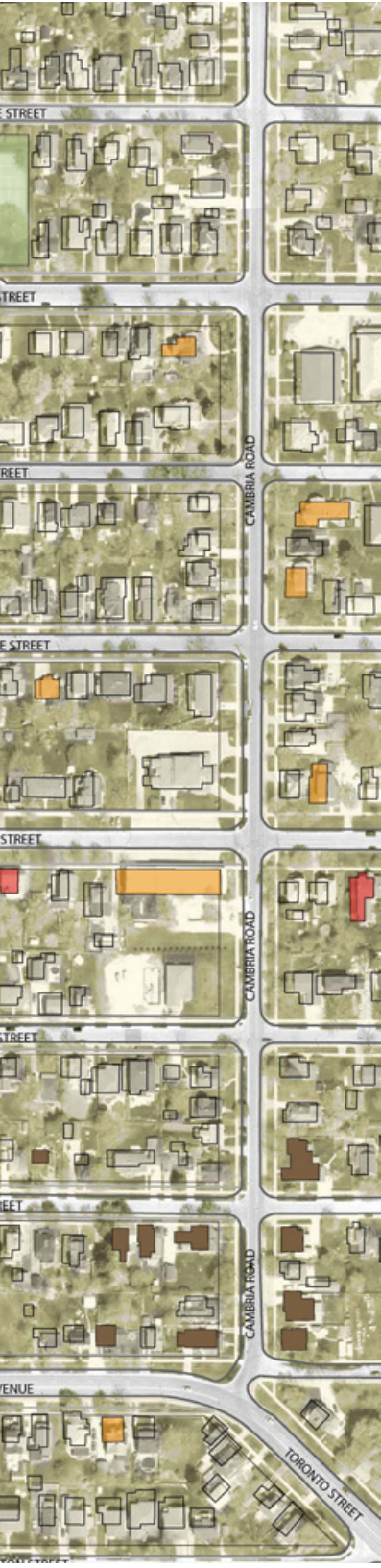


**THE
RESIDENTIAL
QUADRANT**




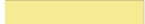





THE DOWNTOWN CORE

**COURT HOUSE
PARK AND
THE SQUARE**

THE DOWNTOWN CORE



LEGEND

-  **The Heritage Precinct:
'The Downtown Core Area' (Project Area)**
-  **Open Space / Parkland**
-  **Community Facility**
-  **Heritage Conservation Districts:
'The Square' and 'West Street'**
-  **Designated Heritage Properties**
-  **Potentially Significant Properties**
-  **Demolished Properties**
-  **Demolished Designated Heritage Properties**
-  **Demolished Potentially Significant Properties**

Context Map

1.2 Context

Goderich, a Town of approximately 8,000 people, is located in Huron County along the eastern shore of Lake Huron. The Town was incorporated in 1850 and became the County Seat in 1856 along with the construction of the County Court House at the centre of the park.

The park, originally intended as the Town's Market Square, is formed by an octagonal ring road which is referred to as 'The Square'. There are eight streets which radiate from the Square, all of which were originally laid out at one (surveyor) chain (66 feet) or one and a half chains (99 feet) depending on whether the street was designated 'minor' or 'major'

The Municipal Register of Cultural Heritage Properties (2009) identifies the Downtown Core Area as a Heritage Precinct containing a significant number of Designated Heritage Sites and Potentially Significant Sites. Both The Square and West Street are designated Heritage Conservation Districts.

Within the context of the significant cultural heritage features that are iconic of Goderich, the Master Plan will provide guidance on key initiatives for enhancing the public realm and re-establishing the built form. This direction will assist the community in the rebuilding process.

The most unique feature of the Downtown core is "the Square" – actually an octagon – within which is Court House Park. The heritage significance of this area has been recognized through designations of individual properties and districts under Provincial legislation. Damage resulting from the tornado has significantly altered the appearance of this precinct and the Master Plan seeks to promote rebuilding while respecting the heritage character of the area.

Defining the heritage character of what the Provincial Policy Statement would term a "cultural heritage landscape" begins with a brief history of the Downtown's development, upon which the Master Plan policies and guidelines are based. Reference will also be made to the Heritage Conservation District Plans that cover the Court House Park and Square portions of the Master Plan study area.

The following text is taken from the primary local history document “Memories of Goderich: the Romance of the Prettiest Town in Canada” by Dorothy Wallace (1977; no publisher or place of publication noted).

Origins of the Downtown’s Design

Goderich was designed as model town, one of the few built in Canada, and certainly one of the earliest. While working for The Canada Company, a 19th century precursor of today’s multinational development corporations, John Galt founded Goderich in hopes that the Town could serve as a shipping port. Galt arrived at the inlet at the mouth of the river and deemed the location appropriate for docking ships. Meanwhile, his colleague William ‘Tiger’ Dunlop had arrived at the same location by land and had constructed a small cottage – the first building in what would become the Town – as he also found the site conducive to developing a new settlement.

The Canada Company laid out the town based on an idealized plan taken from European designs first promoted during the Renaissance. Whereas the town began in the late 1820s as an informal settlement around the harbour, the Canada Company laid out the formal pattern in the 1840s and the town centre moved uphill and eastward. Company plans show the outline of an octagonal “square”, but commentators at the time record that the site remained in an undeveloped state (“stumps and brambles”) until after Town’s incorporation in 1850. According to text in Tour #1 of the Town’s series of walking tours, the streets radiating from the square, as well as the street around its circumference, were laid out by surveyors retained by the Company. The minor streets are 66 feet wide, corresponding to the length of a surveyor’s chain, while the major streets, including the one around the square, are 99 feet wide, or a chain and a half. No lane divisions or demarcation of sidewalks or boulevards are evident on the early plans.

Key public buildings were built to establish the town’s institutional framework. One of the earliest was the County Jail, built in 1839–41 us-

ing an octagonal design with a central hub and radiating cell blocks.¹

The Jail was built overlooking the river, north of the Downtown Core, and it was not until 1856 that the other important public building, the County Court House, was built. Its importance for the Town and the County was asserted by its placement in centre of the Downtown, in the Square.

But the central part of the Square had been intended for purposes other than judicial ones. The same year that the Court House was being built, the Canada Company deeded the Square to the Town as a market place, not a place for a civic building, and took the Town to court for building a Court House there. The Company won in court but was defeated by a special act of the Provincial legislature permitting the Court House use. A Court House and park have occupied the centre of the Square ever since.

As is evident from historical photographs (see to right), the Court House was an ornate structure intended to impress and to establish the urban character of the newly developing Downtown Core. A clock and bell were added to the tower in 1878. This building dominated the downtown core and its skyline until it was destroyed by fire in 1954. It was replaced by the current, more restrained structure, at which time the orientation of the entrances was shifted north-south instead of east-west, for reasons unknown.

Civic Improvements

Early photographs indicate that the rest of the Square appears to have been cleared and leveled by the time the Court House was completed, with street trees planted by the time of Confederation. These images show a chain fence (with

¹ The Court House design is based on a model jail layout promoted by English prison reformer Jeremy Bentham, and was widely used in British Empire and American jails of the time (including Kingston Penitentiary). The uncanny resemblance between the Goderich Gaol design and that of the Square may be mere coincidence, as may be the octagonal shape coinciding with the eight letters of the town’s name, or it may have been deliberate. Certainly an octagon is a very unusual shape for a town “square” and has few precedents beyond a utopian town layout found in Northern Italy and in unbuilt town designs from the Renaissance.

Introduction 1.0

wooden supports) erected to keep out (or in, depending upon the account) roving livestock: turnstiles were installed at entrances to the pedestrian walkways radiating from the Court House. Public toilets were provided, in privies adjacent to the building, enclosed by a high board fence. In 1858, shortly after the Court House's completion, the Square was the setting for a major ceremony welcoming the Governor General (the event was considered of sufficient international importance to be recorded in an image shown in the London Illustrated News). In 1867, a ceremony (with bonfire) was held in the Square to commemorate Confederation.

These photographs also record other structures in the park. The largest was a wooden market structure – the Town created a market in the Square after all – located at the Colborne Street corner. The structure appears to have been in place from the time of the Court House construction to 1879 (when it was removed in response to complaints about fees charged and about its appearance). On various special occasions, temporary ceremonial arches were created in or near the square, including one in 1874 made of salt barrels. At various times, buildings around the Square were decorated with bunting and garlands and the parade route circumnavigated the Square. During parades, the roadway was closed to vehicular traffic except for parade floats and processions.

Goderich prospered in the mid-19th century and buildings constructed in the downtown reflected this prosperity. Over the rest of the century, the use of common materials and similar architectural styles created a harmonious urban setting around the Square, as did a generally uniform height. The municipality added various urban improvements to the public realm, beginning with plank sidewalks around the Square and on side streets, and electric streetlights (1887). Paved sidewalks appeared in 1909. Improvements to the Park included horse chestnut trees planted around the rim and a canopy of large deciduous trees growing within. The Park also became a place of public commemoration with the erection of the WWI war memorial in 1919. Framing the Park was a remarkably cohesive streetscape of handsome late 19th century commercial structures. A major fire in 1873 destroyed 13 of the early, mostly wooden, buildings and led to a major reconstruction. By 1910, all buildings around the



Postcard Views of Goderich, 1995. Montreal Street to South Street. p.115



Postcard Views of Goderich, 1995. Decorations for Old Home Week of 1921 - Montreal Street to West Street p.115



Postcard Views of Goderich, 1995. Kingston Street to South Street. p.115



Postcard Views of Goderich, 1995. 1921 Goderich Old Home Week with the Square decorated for the festivities. North to Colborne Street Block. p.114



Postcard Views of Goderich, 1995. The park around the Court House was a popular place. Since livestock roamed the streets, the park was fenced off with turnstiles at each walkway to allow for pedestrian traffic through the park. p.21

Square were brick clad.

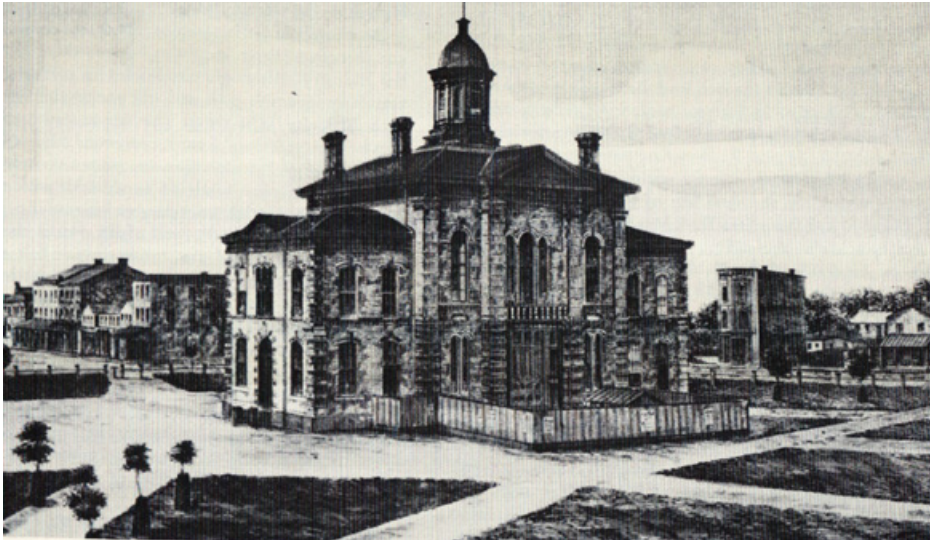
Evolution and Conservation

The cohesive style and massing of buildings surrounding the Square was intact until after WWII. As was a common trend throughout the Western world following the War, older buildings were not valued as communities strove to embrace new ways and new styles. The requirements of motor vehicles began to dominate downtowns. While Goderich's generous street widths could accommodate plenty of on-street parking along with through traffic, its buildings were not always suited to contemporary needs or fashions. They were also vulnerable to the elements, having had little investment in them since the start of the Depression. The first loss of an original 19th century building came in 1956, with the demolition of the British Exchange Hotel. Others followed, and it was only in 1975 that there was an attempt to recognize the importance of the Square's buildings, in this case, through a comprehensive repainting scheme. By the early 1980s, the municipality began to formally recognize the heritage significance of its downtown and, in 1993, designated the Square and most of the first block of West Street as Heritage Conservation Districts under Part V of the Ontario Heritage Act (By-laws 21-1993 and 71-1993, Christopher Borgal Architects).

These two Plans provide design guidelines for conservation and rehabilitation of the buildings within these areas. However, the Plans do not contain guidance for treatment of the Park, nor do they provide responses to the type of catastrophic losses resulting from the tornado other than to provide guidelines for new infill. Because they were created prior to the major changes in Ontario's heritage legislation brought in as part of the 2005 revisions to Provincial planning regulations, they are missing some policies and guidelines that are needed in establishing the planning and design principles and guidelines for the current Master Plan. The following text is intended to fill that gap while respecting the intent of the two Heritage Conservation District Plans.

Draft Heritage Character Statements

As stated in the West Street Heritage Conservation District Plan, Section 2, the objective of designation is "to maintain the character of the building groups by recommending growth in a manner compatible to [sic] the scale and character of the existing streetscape. As well, alterations, renovations and restorations sympathetic to the heritage qualities of the district would be encouraged." The next section is a preliminary attempt to define the heritage character of the Square and Park using the format and terminology reflected in the 2005 changes to the Ontario Heritage Act. More detailed descriptions of the heritage attributes of individual properties are found in the guidelines attached to the designating by-laws.



Memories of Goderich, 1977, Dorothy Wallace, Writer and Editor, p.49

The Square and Court House Park

Summary Statement of Cultural Heritage Value or Interest

This unique octagonal layout contains a major public space (park and Court House) and is bounded by a somewhat intact late 19th century commercial streetscape, from which radiates a formal street pattern.

Summary of Heritage Attributes

- Surviving 19th and early 20th century buildings
- Generally uniform massing, materials and setbacks
- Radial street pattern
- Octagonal layout
- Central park with Court House
- Wide streets (99' on perimeter street; 66' on radiating streets)
- Associations with the Canada Land Company

West Street

Summary Statement of Heritage Attributes

This early extension of the downtown core was an important link to the harbour and railway station and contains some of the Town's earliest commercial and institutional buildings.

Summary Description of Heritage Attributes

- Concentration of important early commercial and institutional buildings
- Associations with the early commercial development of Goderich



Memories of Goderich, 1977, Dorothy Wallace, Writer and Editor, p.80



Otenco Station, Hillsboro, Oregon



Grand Rapids, Michigan



The Farmer's Market, Goderich, Ontario



Remembrance Day Parade, Goderich, Ontario



35 South Street, Polley's Livery Stable
The building was built in 3 stages, 1840s-1878



View of Court House, Goderich



Harbour Park, Goderich

1.3 Study Objectives

This Master Plan intends to make The Project Area a focus for investment in the years to come. The objectives of this Master Plan are to:

1. Identify the current structure and state of repair of The Project Area and determine where new development activity, and particularly public investment should be focused.
2. Provide clear Guiding Principles, Policies and Design Guidelines that:
 - protect and enhance the character of The Square as a public space to be enjoyed by residents and visitors alike, while accommodating the important Court House function;
 - promote The Downtown Core as a focal area for investment in commercial, institutional, cultural, entertainment and residential uses; and,
 - ensure that redevelopment is compatible with existing development patterns both within The Downtown Core and within the adjacent Residential Quadrant. Compatible development is development that may not necessarily be the same or similar to the existing buildings in the vicinity, but, nonetheless, enhances an established community and coexists with existing development without causing any undue adverse impact on surrounding properties.
3. Create new programs, planning and/or financial mechanisms to ensure a high standard of urban design while reducing the costs of redevelopment and reinvestment in The Project Area.
4. Enhance the appearance and encourage a high level of property maintenance for buildings and their surroundings.
5. Ensure that public improvement projects are undertaken within an overall design and implementation program that is consistent with the policy objectives of this Master Plan.
6. Encourage the municipality to work with other government agencies and the private sector to promote innovative housing forms and development techniques in The Project Area. These will facilitate appropriate redevelopment and new investment that is acceptable to the residents and business community of Goderich.



Goderich Community Workshop, January 12, 2012

1.4 Study Approach and Process

It is important to note that prior to the devastating event in August 2011, the community was already experiencing a challenging economy, most obviously reflected in the Downtown Core Area. A number of existing studies have been prepared that speak to and provide recommendations on how to address this situation, including:

- Initial Viability Review – Goderich Business Improvement Area (2011)
- Preliminary Theatre Feasibility Study (2011)
- Goderich BIA Strategic Plan (2010)
- Downtown Core Community Improvement Plan (2008)
- Business Retention and Expansion (2007)
- Downtown Goderich Trade Area Report (2006)
- The Economic Development Marketing Strategy for the Town of Goderich (2005)

This Master Plan takes into consideration the findings and conclusions of these reports, but recognizes that the aim of the study is to guide the rebuilding of The Downtown Core with consideration for establishing an environment that supports, encourages and promotes community vitality. In this regard the Master Plan focuses on public realm beautification and redevelopment opportunities related to urban design, built form and site planning.

In addition to reviewing these background reports and existing policies the Consultant Team undertook a number of key tasks that included:

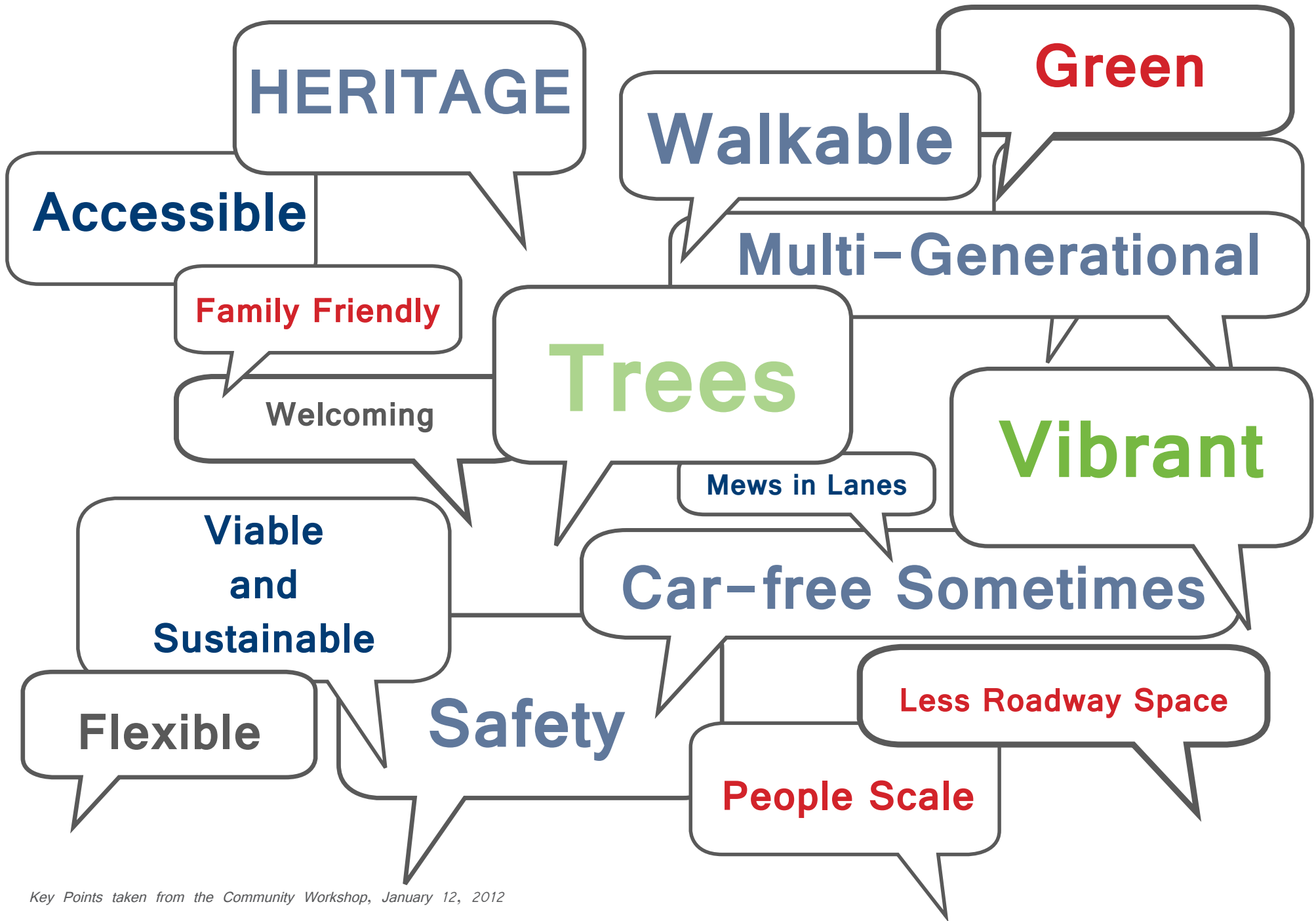
- Meetings with the Rebuild Planning Advisory Steering Committee;
- Site investigations with respect to:
 - The condition of downtown trees;
 - The character of existing streetscapes;
 - The character of existing built form; and,
 - The status of building demolitions

- The preparation of design concepts and draft reports leading up to this final report, and
- Facilitating and leading a community workshop to develop a vision and principles that would serve as the basis for the Master Plan and Park Design.

The community workshop took place over three days, from January 12 to January 14, at the Royal Canadian Legion Hall, located on Kingston Street. In addition to working meetings with the Steering Committee, the Local BIA, Chamber of Commerce, the Heritage Committee, and the Environmental Committee, over one hundred members of the community came to the workshop each day to share their experiences and ideas with the team. Generally, the ideas expressed were similar in their desire to realize a better downtown area as the cultural, economic and civic centre of the community.

At the conclusion of the workshop some of these ideas were incorporated into preliminary concept plans and designs that would comprise the first step towards developing the Downtown Core Master Plan and Court House Park Design.

Over the course of the following six months, these plans and designs were refined and explored further, with continued input from the Steering Committee. This process culminated in the Plan and designs that are presented in this report. The Master Plan builds upon the outcomes of the workshop, incorporates best practices in the fields of urban design, architecture, planning and arboriculture and synthesizes shared ideas for pedestrian-scaled streets, the heritage character of the core, civic identity and sense of community expressed in the form and function of the Downtown Core. Some of these ideas, captured on the following page, are inherent in the ‘Vision Statement’ and supporting ‘Guiding Principles’ that follow.



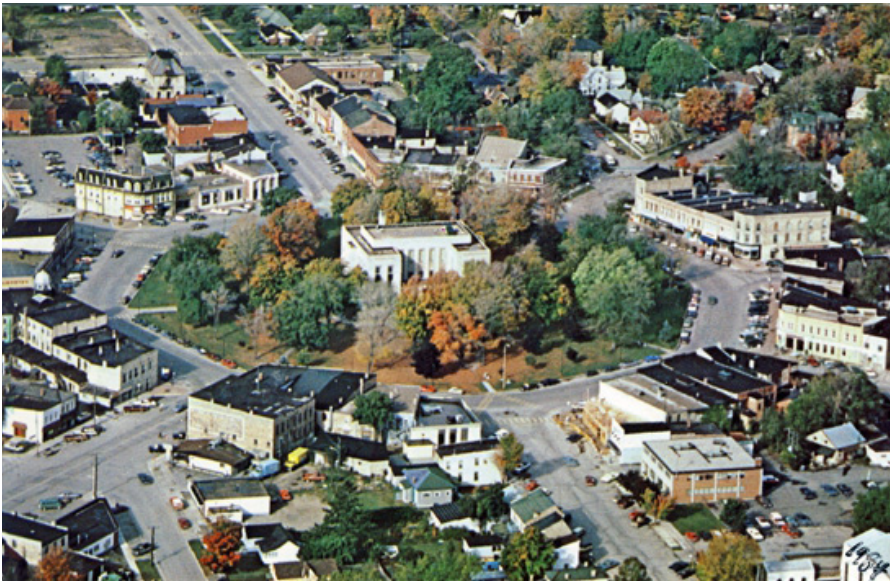
Key Points taken from the Community Workshop, January 12, 2012

1.6 Guiding Principles

1 Implement Special Rules and Privileges for the Downtown Core Area

The Downtown Core Area is a special place warranting special rules and privileges. It is the historical, symbolic, cultural, and civic centre of the community. It is a place where people are able to live, work, shop, play and come together as a community.

Its function and role within the community should be maintained, enhanced and promoted through designs and policies that balance the needs of public and private development.



The Square, Postcard, 1984. Goderich, Ontario

2 Reinforce and Enhance the Character of the Downtown Core Area

The character of the Square and Court House Park relates primarily to the unique octagonal shape and radial street pattern. The Park has always been the symbolic centre for the Town and County, for recreation, memorization and celebration, and the Square the traditional commercial precinct. West Street has served as the link between the Downtown Core and the harbour area, with its port, industries and railway station. It is also the site of key municipal institutions. Protection of the important heritage resources within these parts of the Downtown Core has been secured through designation of the Square and Park, as well as a block of West Street, as Heritage Conservation Districts.

The tornado has been the most radical of the changes affecting this area, but since the mid-19th century, fires have claimed the Court House and many of the surrounding buildings, and there have been demolitions due to changing economic conditions.

However, the basic urban structure remains of street widths, block dimensions, and the configuration of Park and Square remains the same, as do many of the late 19th century structures that ring the space. Recognizing these underlying patterns and reinforcing them through conservation and ensuring harmonious infill will be the primary heritage goals of this Strategy.



Streetscape, Goderich, Ontario



37-41 West Street, Goderich, Ontario



92 Court House Square, Bedford Hotel, Goderich, 1896

3 Make Pedestrians the Priority in the Downtown Core



Collingwood, Ontario



New Haven, Connecticut



Goderich, Ontario

In many communities across southern Ontario, animated and lively street environments contribute significantly to the commercial success of main streets. This is due to the increased foot traffic – vital to retail – that is generated by safe, visually pleasing and pedestrian-scaled streetscapes. People are naturally drawn to places that make them feel comfortable and to places where others are gathered.

A strong message that came through during the Workshop was that residents valued the ability to walk within the Downtown Core and would like to see The Square developed to be more pedestrian-oriented.

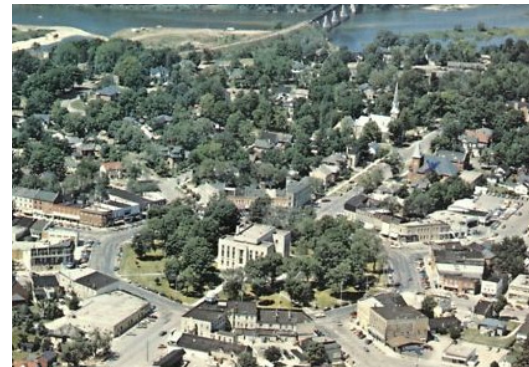
Key to the pedestrianization of the Downtown Core is ensuring that pedestrians, vehicles and cyclists co-exist in a safe and accommodating environment and that the sense of scale and sense of place is created with pedestrians in mind.

4 Enhance Wayfinding and Orientation; Strengthen Connections to Cultural Amenities and Open Space Features

The way by which one experiences a place or space is strongly related to the manner in which they view, navigate through and interact with their surroundings. In order to promote a positive experience, pedestrians, motorists and cyclists must be able to navigate through their surroundings in a safe and pleasant manner. Further, they need to know where they are, where they would like to go, and where special places and places of interest are located.

The notion of orientation and wayfinding is in large part dependant on the series of visual cues and references that mark points in space. These could include, for example, buildings, parks, signage, streets or any combination of these elements; these visual references contribute to creating a ‘sense of place’ which is one of the fundamental urban design objectives in developing communities.

Two key points were made in the Workshop with respect to the notion of ‘sense of place’. These were that the ‘cues’ currently found in and around the Downtown Area seem to promote people leaving rather than arriving and that the existence of The Square is not evident beyond the immediate Downtown Core.



Postcard ‘Goderich, Ontario, The Prettiest Town in Canada’



The Pillars, built in 1929 to commemorate the opening of the Huron Road, Highway 8 to Stratford, and the 100th anniversary of the founding of Goderich and the Huron Tract (1827)

5 Establish a Sustainable Urban Canopy (Forest)

Perhaps the most meaningful way to create comfortable pedestrian spaces is by creating an urban tree canopy or forest. At their most basic, trees provide shade, protection from wind and rain, and help define and delineate space and spatial relationships. However, a healthy urban forest also has greater and more specific benefits in communities; including the economic benefits of trees enhancing property values and improving business adjacent to retail uses, and the ecological benefits of providing habitat or food sources for local and migrating birds and wildlife, reducing the urban heat island effect, and mitigating stormwater runoff.

Goderich must be cognizant of the fact that the benefits of urban trees are exponentially magnified when they are mature, and have large, connected canopies.

‘Bring back the trees’ was a message that was repeated countless times in the Workshop and it became evident that a treed Square and tree-lined streets were an integral part of the community’s desired identity. To this end, the Master Plan report prescribes strategies to reforest Goderich in a sustainable manner.



Historic Photo, Date unknown

6 Make Trees the Priority in the Park

Court House Park was, in more recent history, a landscaped park ringed almost entirely by mature deciduous canopy trees within the Square and by Horse chestnut Trees around the outer rim of the Square.

One of the strongest messages expressed by the community during the Design Workshop was the desire to see large canopy trees within the Park again. Residents described sitting with friends on benches under trees, strolling along tree-lined walkways and planting that make the park feel lushly landscaped.

To achieve this vision of the Park as a landscaped and treed space, one of the most important recommendations is to create an environment where trees and plants can thrive. The compaction of soil in the park due to vehicular and other uses as well as salt accumulation, have, over time, compromised its ability to support optimum plant growth. This report provides strategies for improving existing soil conditions and maintaining a healthy environment within which trees will thrive.



Goderich Economic Development Banner, Goderich Website

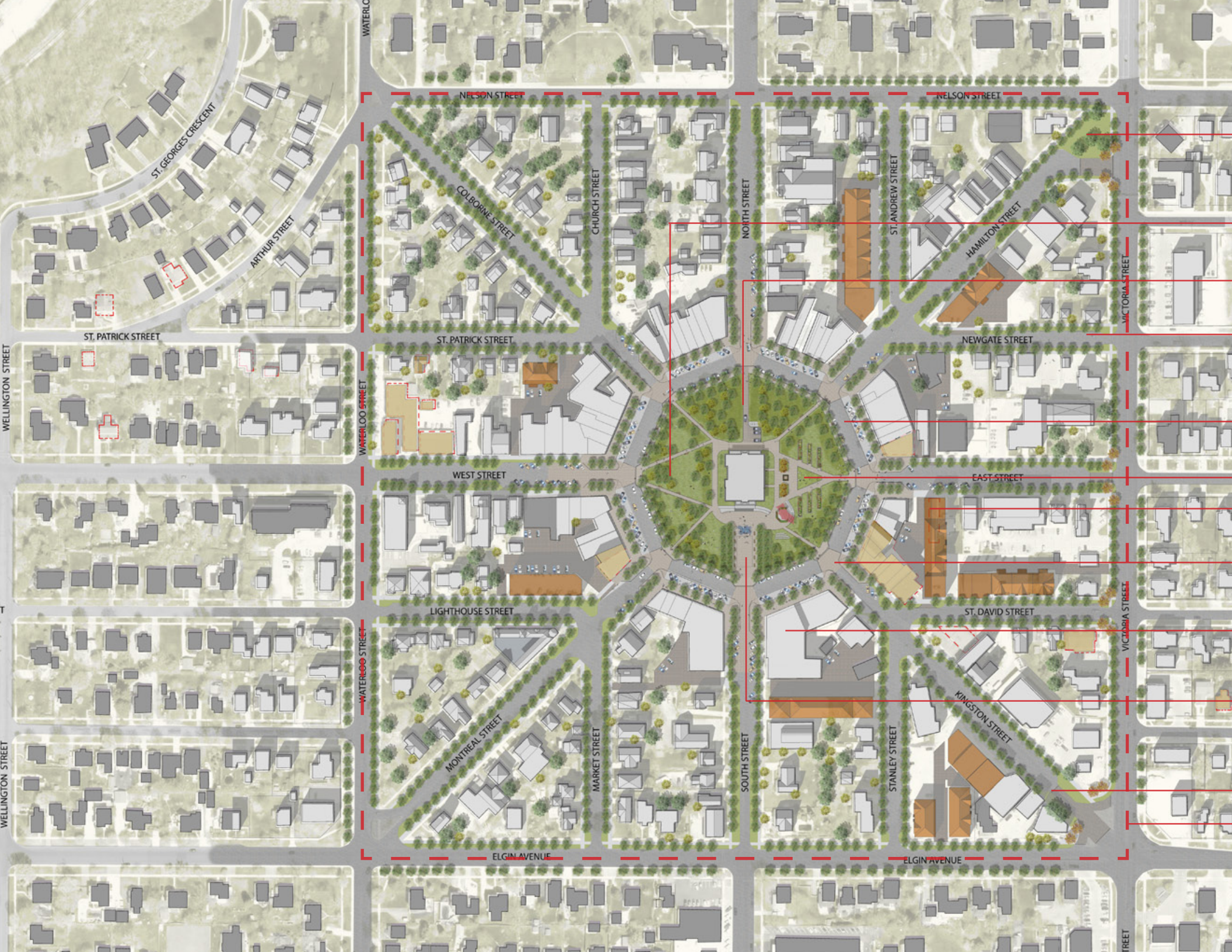
7 Design and Construct New Buildings to become Future Heritage

The Municipal Register of Cultural Heritage Properties identifies the Downtown Core Area as a Designated Heritage Precinct, including a number of Designated Heritage Sites. Similarly, the Square and West Street are identified as Heritage Districts. Together, they define the unique heritage character that is associated with Downtown Goderich.

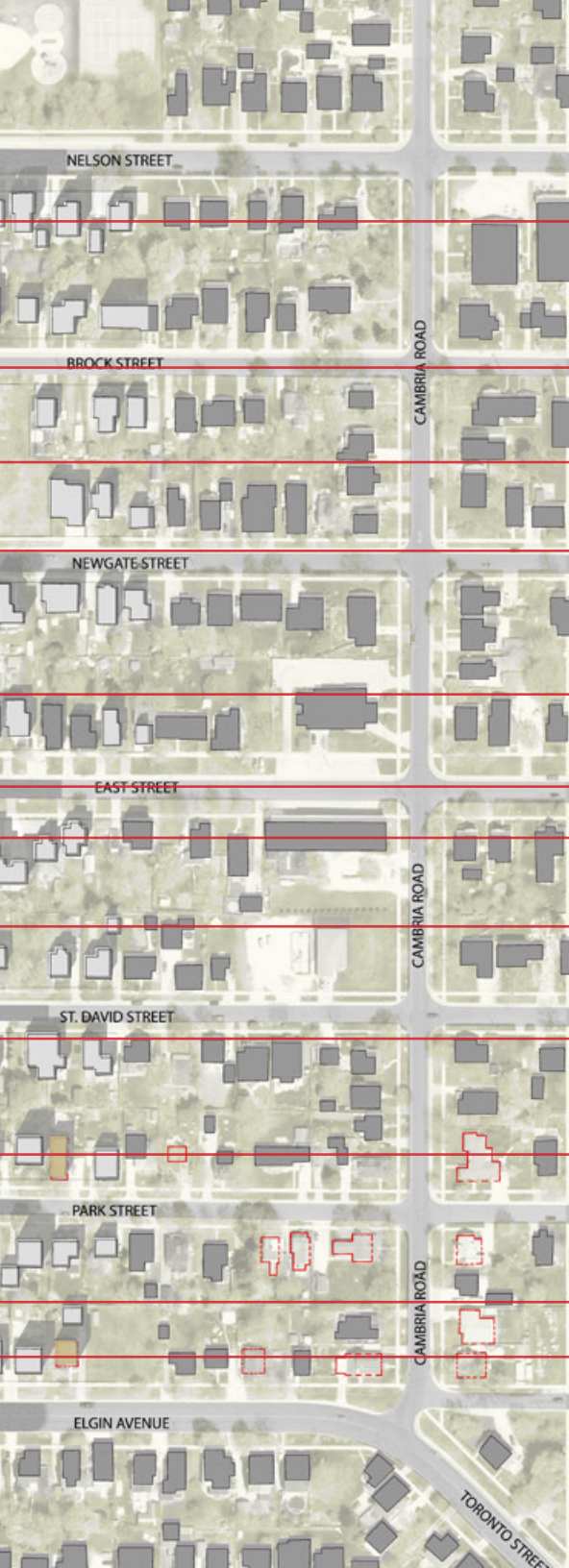
In many historic downtowns and main streets, where heritage features prominently, the challenge for architects, planners and urban designers is one of protecting and maintaining the heritage character while allowing new development to occur.

Current thinking suggests that replicating heritage buildings using available contemporary technologies and materials results in poor substitutes for, and takes away from, the integrity of the original buildings.

New buildings in the Heritage Precinct can contribute to the overall Downtown Core by highlighting heritage sites, through contrast and juxtaposition and by reinforcing the street edge through the incorporation of key elements and materials and through the adherence to consistent scale, height, massing and setback criteria.



Introduction 1.0



Gateway and Public Art

The Lawn

The Grove

Secondary Streetscape

The Square and Promenade

The Commemorative Gardens

Infill Opportunities

Festival Plazas

Heritage Building Design
Principles

The Plaza

Primary Streetscape

Project Area



28 Nelson Street West



Goderich Market



Goderich Winterfest



Goderich Market, Court House Square



54 Colborne Street



Goderich Market



Goderich, Ontario



9 Victoria Street South



Goderich Beach

Planning Policy Approach 2.0

It is the intent of this Master Plan to support economic revitalization of Downtown Goderich within a context of historic preservation, while at the same time recognizing that adaptive reuse, redevelopment and intensification can be accommodated.

It is also the intent of this Master Plan to ensure that redevelopment/new development will be appropriately designed, and will be compatible with the existing urban form.



View of the Square, January 2012

2.1 The Downtown Core Area

Permitted Land Uses

1. It is important to remain flexible in permitting all of the varying land uses that are typical of a vibrant Downtown, while being equally restrictive of those uses considered to be inappropriate in an evolving urban setting. Permitted uses on lands identified as The Downtown Area on Map 1 include:
 - dwelling units located on the second storey, and/or above, of all building types at ground level;
 - commercial uses including financial institutions, offices, retail stores, restaurants, personal services and funeral parlours;
 - tourist accommodations;
 - institutional uses, including places of worship;
 - cultural, recreational and entertainment uses;
 - urban squares/festival spaces; and,
 - public uses and public and private utilities.

- any retail store with a Gross Floor Area in excess of 4,000 square metres; and,
- automotive-oriented uses of any kind (sales, service, gas stations).



View from the Square, Goderich, Ontario

Prohibited Land Uses

1. The following land uses are prohibited within the 'Historic Main Street' designation:
 - drive-through facilities of any kind;
 - stand-alone retail plazas and/or individual stand-alone retail stores;

Planning Policy Approach 2.0

At-Grade Uses

1. The provision of community services, restaurants, cafes, stores and display windows at-grade provides visual interest, encourages active transportation, enhances retail viability and contributes to a safer, more vibrant pedestrian environment:
 - buildings shall be designed in a manner that contributes to vibrancy and, where possible, provides an active use at-grade in order to promote pedestrian activity; and,
 - at-grade uses will change over time to adapt to a variety of community needs. As a result, the floor-to-ceiling height of ground floors for all buildings should generally be sufficient to adapt to all typically permitted uses.
4. Density can also be used in defining the amount of development permitted on a lot. However, density as a planning tool used by itself will not ensure that any specific built form will be produced. As such, density will be considered a product of the relationship between built form, height and lot coverage and will not be specifically regulated in this Master Plan.
5. Parking shall not be located in the front yard of any building within The Downtown Area.
6. All development within The Downtown Area shall be compatible with development on adjacent properties.
7. All development within The Downtown Area shall be subject to Site Plan Control, and shall be carried out in conformity with the Design Policies for the Downtown Area, and the other applicable policies of this Master Plan.

Development Policies

1. An array of housing and building types is encouraged throughout The Downtown Area. It is the intent of this Master Plan to use existing built form as the key determining factor for the types of development permitted in each land use designation.
2. Within the The Downtown Area, the minimum building height shall be two (2) storeys or equivalent. The maximum building height shall be six (6) storeys. Taller buildings may also be considered subject to appropriate impact mitigation techniques being employed, including enhanced landscaping, angular planes, step-backs and/or setbacks, to the satisfaction of Council.
3. Within The Downtown Area, new buildings above 2 storeys shall be required to articulate the historic 2 storey building height, either through architectural detailing, or with a building step-back above the second storey, to the satisfaction of the Council.

Parking Requirements

1. It is the intent of this Plan to ensure an appropriate supply of parking, both vehicular and bicycle, throughout the Downtown Area. Council may consider implementing into Zoning By-laws a range of parking ratios within each of the designations in the Downtown Area.
2. The following policies will be used in establishing an appropriate parking supply within The Downtown Area:
 - Council shall provide public parking areas (on-street parking, surface lots and/or structured parking facilities) within The Downtown Area to increase the supply of parking for bicycles and automobiles;
 - where new development is proposed within 250 metres of an existing public parking facility, Council may reduce the minimum parking requirement, identified in the Zoning By-law in recognition of the enhanced public parking supply;
 - given the substantial supply of public parking within The Downtown Area, new retail commercial or office space development shall not be required to provide on-site parking. New residential and new tourist accommodations/hotels shall be required to provide on-site parking or a reasonable alternative, in accordance with the zoning By-law and subject to approval by Council.
 - where a development proposal is unable, or does not wish to provide all of the required parking spaces, Council may accept cash-in-lieu of parking spaces. The minimum parking requirement shall be used to calculate any parking space deficiency.
 -

The cost of each parking space shall be established by Council, and may be waived for any specific development, at the discretion of the Council. The funds raised through this provision shall be utilized by the Council solely for the purchase of property for public parking and/or the building of public parking within the boundaries of The Downtown Area.



Angled Parking



Half Underground Parking



Street Parking



Underground Parking

Parkland Dedication

1. All redevelopment activities that are the result of the tornado shall be exempt from any parkland dedication requirement.
2. All new development within the Project Area shall be subject to the parkland dedication requirements of the Planning Act, except that the alternative parkland dedication requirement provided in the Planning Act of 1.0 hectare per 300 dwelling units shall not be applied.
3. Council may accept cash-in-lieu of parkland dedication on any application for new development. That cash-in-lieu contribution will be used to enhance the public realm within the Project Area.

Site Plan Approval

1. All development that creates new buildings, or new Gross Floor Area in excess of 15 percent of existing Gross Floor Area within the 'Downtown Area' shall be subject to the Site Plan Control provisions of the Planning Act. Where Site Plan Control is required, no building permit may be issued by the Council without first reviewing the development application in the context of all the principles and regulations identified within this Plan.

The Council shall utilize the Site Plan Approval process to the maximum extent permissible by the Planning Act. Specifically, the Council may consider matters related to exterior design, including, and without limitation to the character, scale, materials, colour, appearance and design features of buildings for all development in the 'Downtown Area'.

Live-Work Units

1. Live-work units include the potential to integrate small-scale commercial or retail uses at-grade, in combination with a residential unit. They are typically within a townhouse built form.
2. Live-work units may be located anywhere within The Downtown Area, with the exception of properties that abut St. Patrick Street, Church Street and Colborne Street.
3. Home occupations are permitted in all single-detached dwelling units within The Downtown Area provided the use is of an accessory and subordinate nature and does not substantially alter the residential nature of the property.

Bed and Breakfast Establishments

1. New bed and breakfast establishments are permitted within existing single-detached dwelling units in The Downtown Area. The implementing Zoning By-law and/or Site Plan shall ensure that:
 - the use shall not have a negative impact on the privacy of neighbouring properties; and,
 - adequate parking facilities are available on the lot for the proposed use and parking should not be located in the front yard of any buildings.

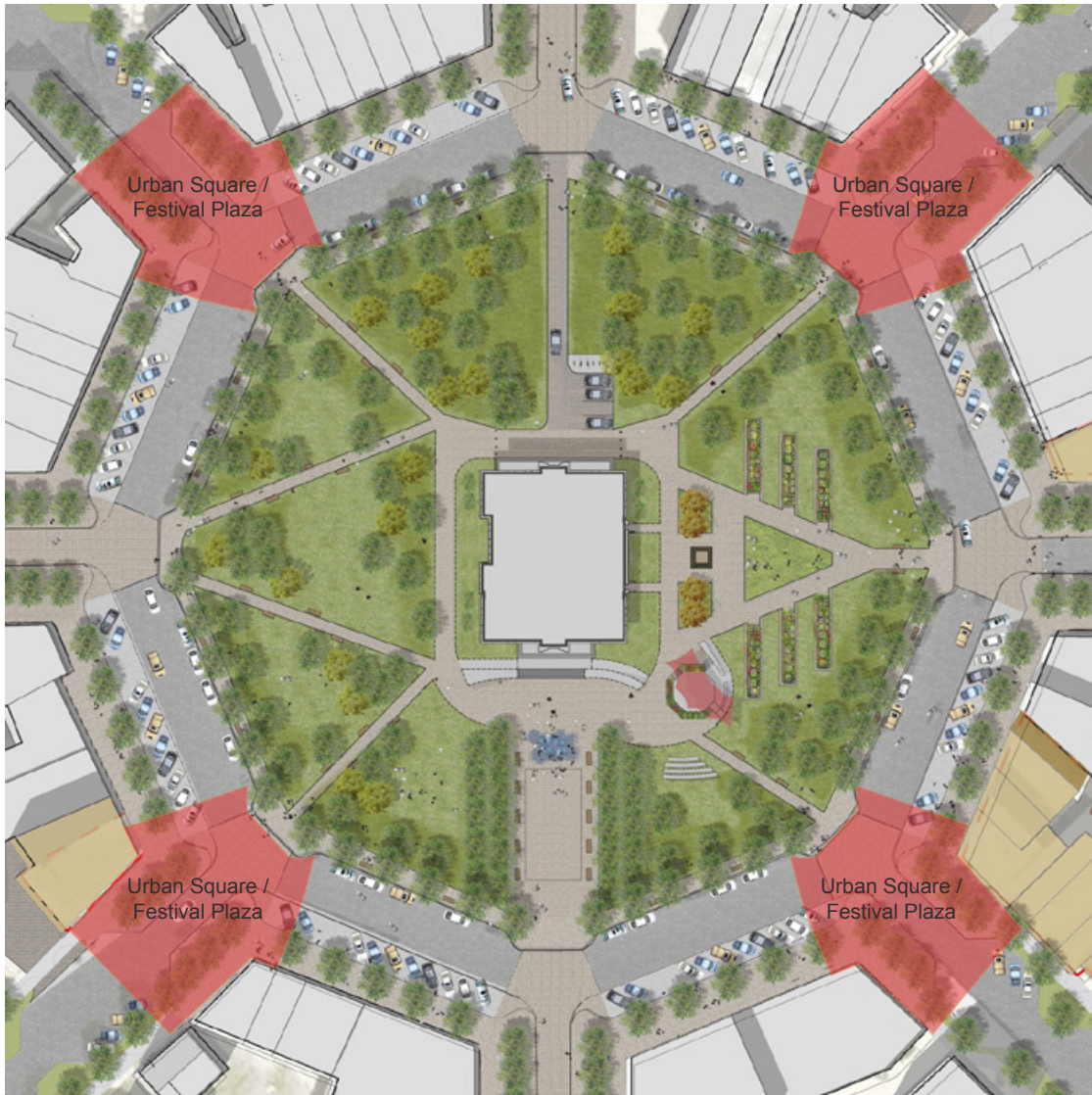
Places of Worship

1. Places of worship shall be high quality landmark buildings.

Urban Squares / Festival Plazas

1. Urban Squares/Festival Plazas represent the smallest parks and are intended to provide visual amenity and minor open space areas and/or linkages within The Downtown Area. Urban Squares/Festival Plazas are expected to be designed and developed to recognize their unique function and their surrounding context.
2. Urban Squares/Festival Plazas shall be located on visible road frontages and their entries should be clearly defined through landscape treatment and built form elements. The design should provide a focal area or feature that gives character and provides for a range of passive and informal uses. The following shall apply to the development of urban squares/festival spaces throughout The Downtown Area:
 - urban squares are intended as formal pedestrian spaces, in support of the adjacent higher density, mixed use development;
 - an urban square shall generally have a minimum frontage on the abutting sidewalk of 5.0 metres, and a minimum depth of 5.0 metres;
 - urban squares shall be designed to reinforce a high quality formalized relationship with its adjacent building use and streetscape; and,
 - hard and soft landscape elements and features within the urban square shall be designed to define and articulate activity areas, circulation, entry points, seating and gathering areas.

Planning Policy Approach 2.0



The Square: Urban Squares/Festival Plazas

3. Urban Squares/Festival Plazas shall be located on visible road frontages and their entries should be clearly defined through landscape treatment and built form elements. The design should provide a focal area or feature that gives character and provides for a range of passive and informal uses. The following shall apply to the development of urban squares/festival spaces throughout The Downtown Area:
 - the urban square is designed and built by the landowner to the satisfaction of Council;
 - the urban square is maintained by the landowner to the satisfaction of Council; and
 - the owner(s) and/or the condominium corporation is made aware that the urban square is to be considered as a public space and is to be open and accessible to the public at all times

It is the intent of this Plan to recognize and protect The Residential Quadrant as a unique neighbourhood within the Project Area.

It is also the intent of this Plan to ensure that new development will be appropriately designed, and will be compatible with existing development within this area, and with development in The Downtown Area.



The Residential Quadrant

2.2 The Residential Quadrant

Permitted Land Uses

1. A mixture of uses is encouraged not just within The Residential Quadrant in general, but on individual development sites, and within individual buildings. Permitted uses on lands identified as The Residential Quadrant on Schedule 'B' include:
 - single-detached and semi-detached dwellings;
 - multiple-unit buildings and townhouses;
 - bed and breakfast establishments;
 - secondary dwelling units;
 - live-work units;
 - home occupations;
 - small scale office uses in a permitted residential built-form;
 - public uses and public and private utilities.

Development Policies

1. Within The Residential Quadrant the minimum building height shall be two (2) storeys or equivalent. The maximum building height shall be four (4) storeys.
2. All development within The Residential Quadrant shall be compatible with development on adjacent properties.
3. All development, with the exception of extensions/expansions to existing buildings, or any single-detached dwelling, shall be subject to Site Plan Control, and shall be carried out in conformity with the 'Design Policies for the Downtown Area', and the other applicable policies of this Master Plan.

Live-Work Units

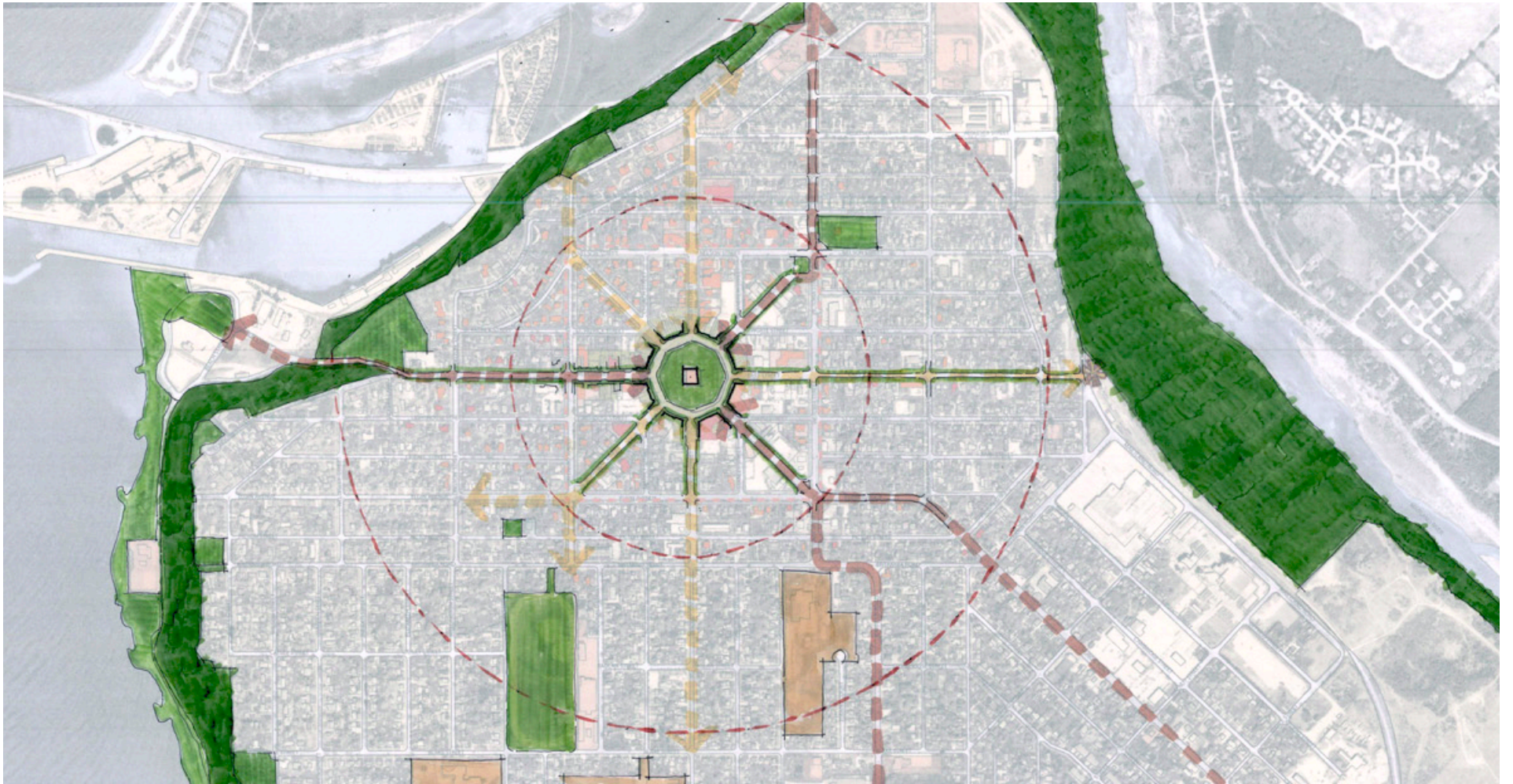
1. Live-work units include the potential to integrate small-scale commercial or retail uses at-grade, in combination with a residential unit. They are typically within a townhouse built form.
2. Live-work units may be located anywhere within The Residential Quadrant.

Home Occupations

1. Home occupations are permitted in The Residential Quadrant, provided the use is of an accessory and subordinate nature and does not substantially alter the residential nature of the property.

Bed and Breakfast Establishments

1. New bed and breakfast establishments are permitted within existing single-detached dwelling units in The Residential Quadrant. The implementing Zoning By-law and/or Site Plan shall ensure that:
 - the use shall not have a negative impact on the privacy of neighbouring properties; and,
 - adequate parking facilities are available on the lot for the proposed use and parking should not be located in the front yard of any buildings.



Public Realm Diagram

Public Realm Design Guidelines 3.0

The Guiding Principles and Policies that have been described for the Master Plan are premised on using the situation presented by the tornado as an opportunity for improvement. This means that planning and design should focus on creating a safer, more animated and aesthetically pleasing pedestrian environment, and creating the best possible ecological environment that allows and promotes the greening of the Downtown. Guidelines should also be provided to facilitate and encourage built form (development) that preserves or enhances the unique character of the Downtown.

The Public Realm Strategy envisions a combination of streetscape and landscape designs that contribute to promoting the Downtown Core Area as a vibrant, and pedestrian-oriented place. The success of the Downtown Core, and more specifically The Square, as the Town's effective Main Street will in large measure be affected by the success of the public realm in attracting and keeping people Downtown.

This section focuses on the key aspects of the public realm design that will start to create the type of environment that will support the activities of businesses and institutions and enhance the daily lives of residents. At the same time, this will welcome visitors to enjoy the unique experience offered by the Town.

The next several pages will describe designs and offer recommendations for design elements associated with:

- Court House Park
- Streetscapes
- Gateways
- Greening Strategy
- Viewscapes



Colborne Street Festival Plaza

Public Realm Design Guidelines 3.0

Objectives

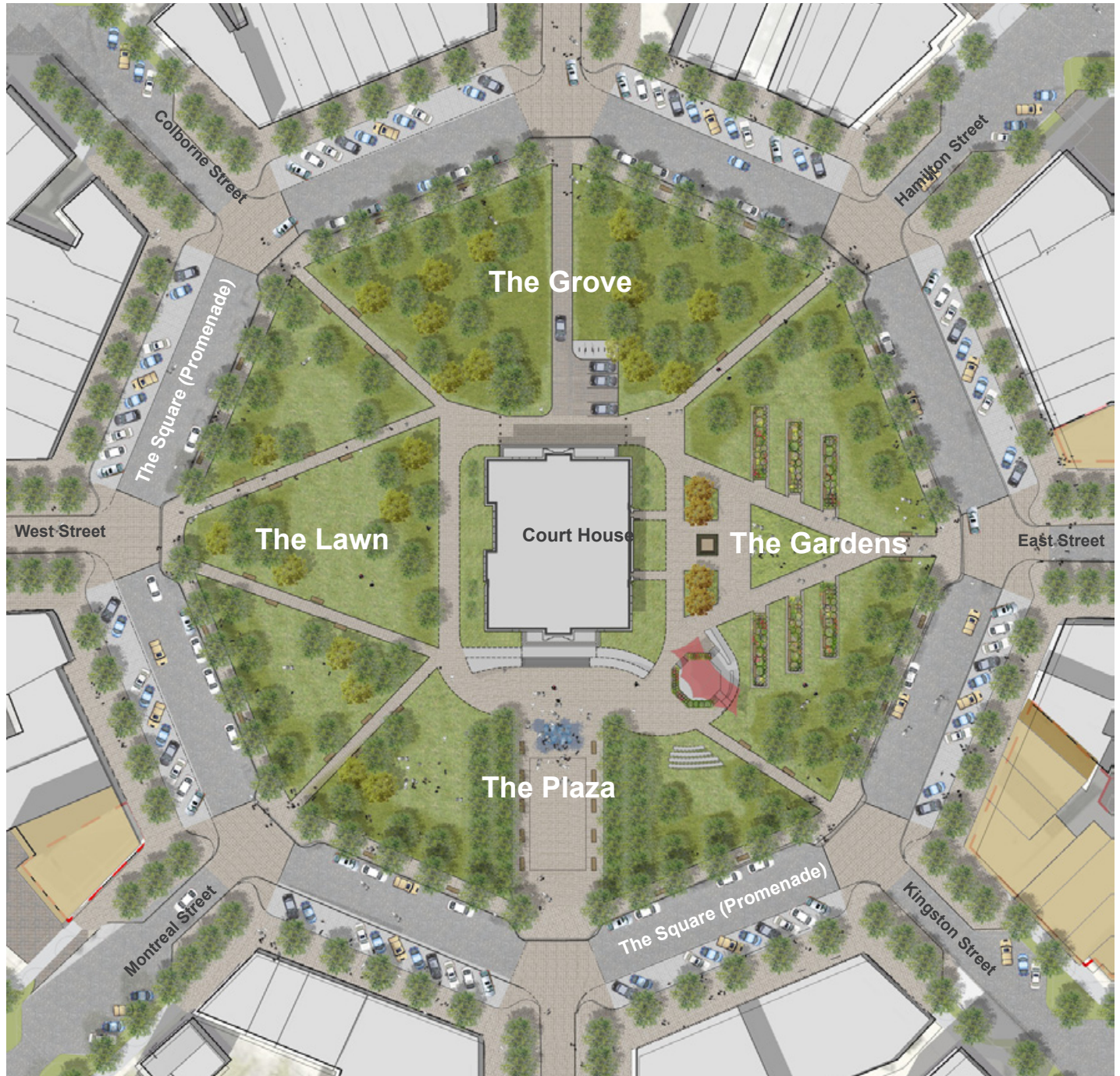
A key characteristic of any great downtown is the quality of the public realm. The public realm is fundamental to creating memorable places. Goderich has many fantastic components of the public realm that help to create a memorable downtown experience. As a result of the tornado, there is an opportunity to replan and replant the public realm.

The Square and Court House Park is an example of a Significant Cultural Heritage Landscape that is one of the key memorable place-making aspects of Goderich. The adjacent streetscapes which lead into The Square have the opportunity to magnify the importance of The Square, but to also become either ceremonial or functional retail streets in their own right. Additional Urban Squares/Festival Spaces would also enhance the experience.

The tremendous inventory of historic buildings is also a fundamental character-giving component of the Downtown Goderich experience. It is crucial that the inventory be maintained, and where new buildings are introduced that those new buildings are compatible with the historic character of the area.

The design objectives for The Project Area are:

1. Based on the belief that the livability and physical appeal of a community can be enhanced by the quality, layout and attractiveness of its public and private realm.
2. Intended to provide development proponents with an understanding of the design intent of the community. The fundamental basis of these design policies is to create a built environment, which provides:
 - visual diversity, interest and beauty;
 - a well-defined public realm, including The Square, the connecting streetscapes and new urban squares/festival spaces;
 - sensitive integration of new development with existing development through the promotion of compatible development;
 - a full range of retail and community services and facilities in proximity to, or integrated with, housing to promote walking and to help reduce automobile trips;
 - a pedestrian-oriented and cyclist-oriented development pattern where priority is given to the pedestrian, cyclist and motorist, in that order of priority;
 - an attractive and distinctive Downtown, with strong visual and physical connections to the waterfront and the rest of the community; and,
 - protection of the unique road network that is fundamental to the historic character of the Downtown and the image of Goderich.



The Square and Court House Park Concept

Public Realm Design Guidelines 3.0

3.1 Court House Park

It is the intent of this Master Plan is to ensure that Court House Park will remain an important visual icon of Goderich, and be maintained as a public open space with facilities that meet the social and recreational needs of residents, tourists and visitors, while accommodating the functional requirements of the Court House.

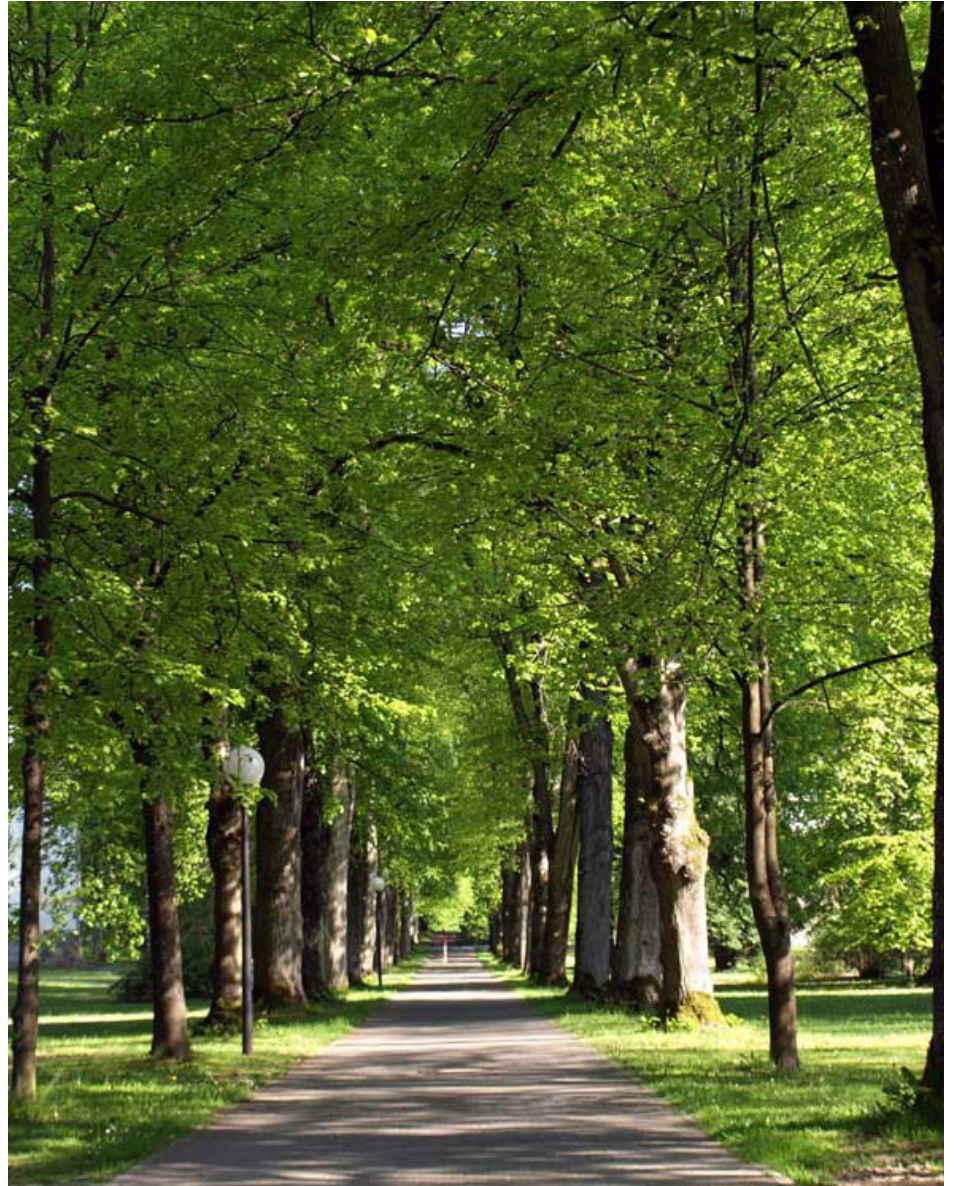
Permitted Uses

1. Permitted uses on lands identified as Court House Park include:
 - passive recreation uses;
 - the Court House and six (6) associated parking spaces and loading facilities;
 - other public uses and public and private infrastructure; and
 - special events.

Policies

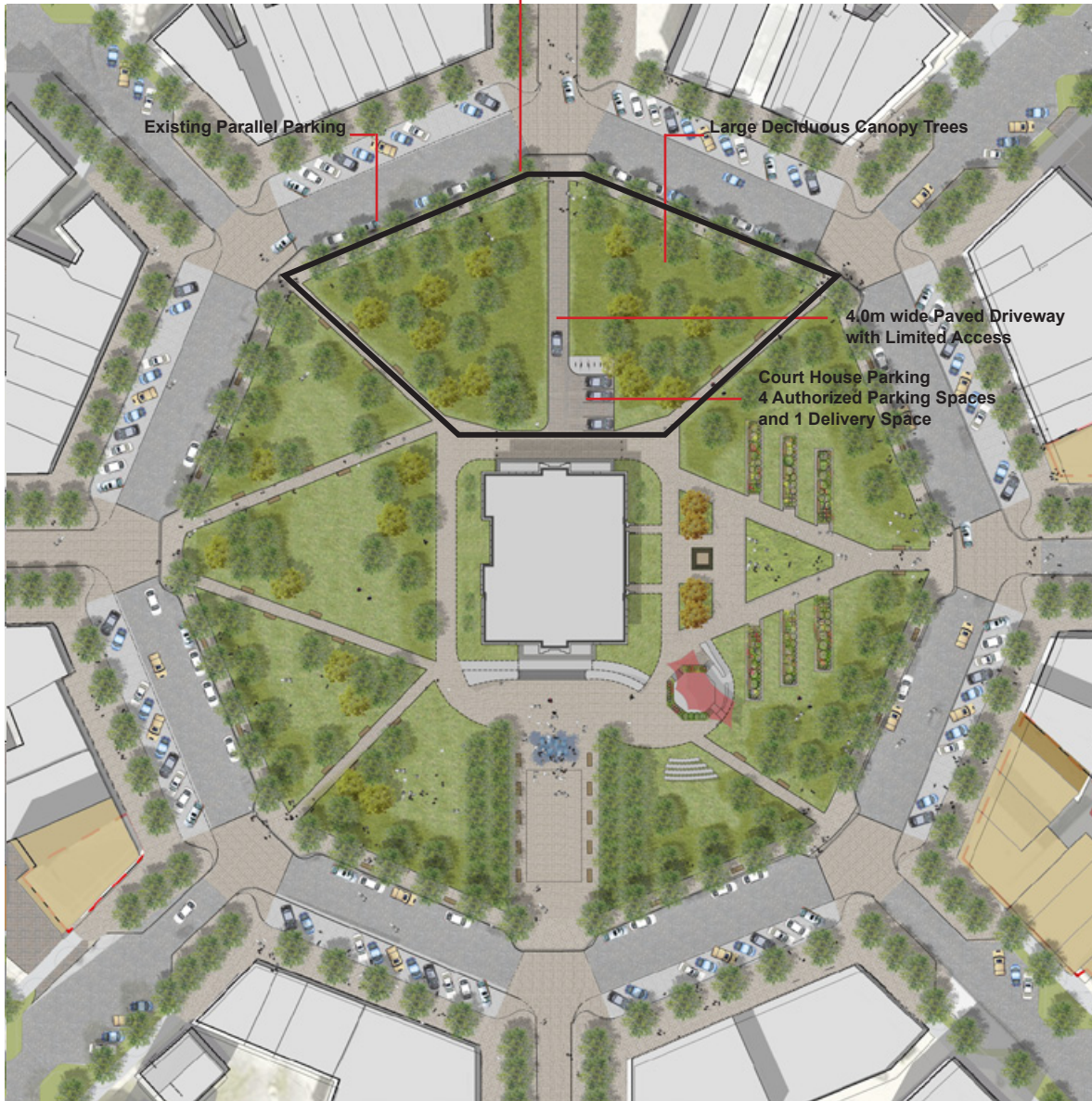
1. Council shall retain Court House Park in public ownership and use these lands for public purposes.
2. Public amenities within Court House Park will feature the existing cenotaph and related landscape. Facilities may also include a park pavilion, small scale children's playground equipment, an interactive water feature, an area to accommodate an outdoor skating surface, a performance area (s), passive seating areas and walkways.
3. Court House functions, such as parking and loading, will be carefully designed and controlled. Vehicles of any kind shall no longer be permitted

4. Court House Park will be redeveloped with a high level of landscaping including hard surface areas, shaded areas under tree canopies or open air structures, lighting, distinctive tree, shrub and ground cover planting. Any new structures shall be limited to those necessary to serve the particular on-site activities.
5. Pedestrian access to Court House Park should be clearly defined with landscape or architectural elements to ensure an appealing park presence.
6. Street trees should be planted along the edge of Court House Park without screening the view into the Park.
7. Seating and shade areas should be designed in connection with walkways, play areas and the other key features, including the cenotaph and performance area.
8. Redevelopment of Court House Park shall require preparation of a Detailed Landscape Plan, to be approved by Council. Buildings and sites should accommodate an array of compatible development. A mixture of uses is encouraged not just within the designation in general, but also on individual development sites, and within individual buildings. High activity uses that animate the streetscape, like retail and restaurants, are encouraged at-grade, with uses such as offices and residential uses on second floors and above.
9. All existing residential dwelling units are permitted. The implementing zoning by-law shall delineate those locations within The Downtown Area where residential uses are permitted at-grade and where new multiple-unit buildings and townhouses may be permitted.



Public Realm Design Guidelines 3.0

8.0m wide Pedestrian Promenade (see 4.3.2)



The Grove Concept Plan

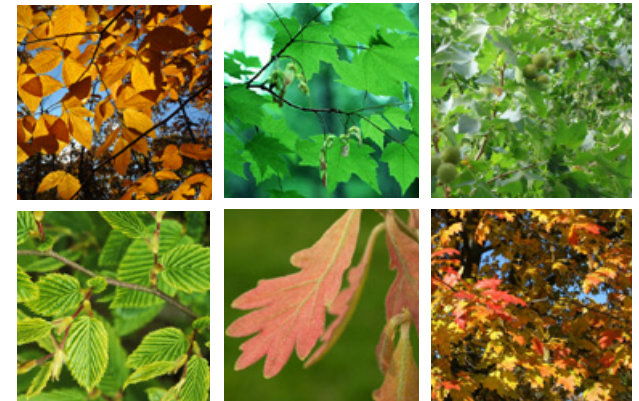
3.1.1 The Grove

Planting Strategy

This quadrant of the park is meant to evoke the tall branching character of relatively dense woodland groves. Populated with hardwood and mostly native trees, these trees will eventually dominate the rest of the park as they grow over the next century.

Recommended Species:

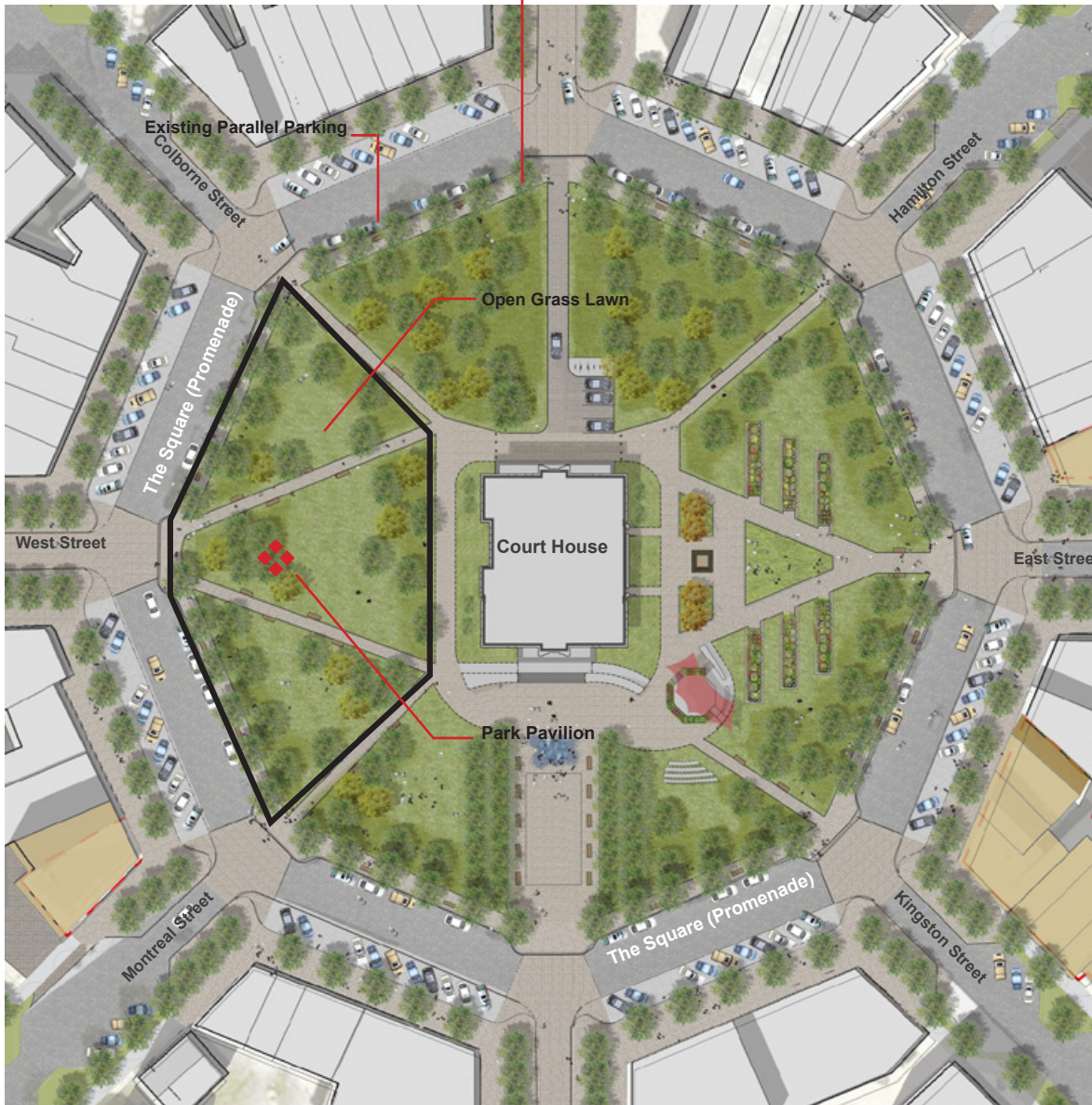
- *Acer saccharum* / Sugar Maple
- *Catalpa speciosa* / Northern Catalpa
- *Cercidiphyllum japonicum* / Katsura Tree
- *Fagus sylvatica* / European Beech
- *Quercus alba* / White Oak





Public Realm Design Guidelines 3.0

8.0m wide Pedestrian Promenade (see 4.3.2)



The Lawn Concept Plan

3.1.2 The Lawn

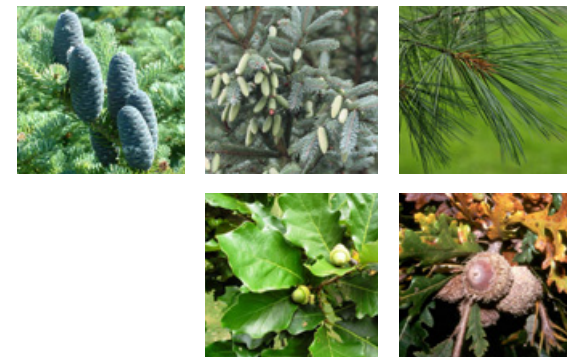
Planting Strategy

This quadrant of the park has areas of complete screening, with clustered evergreen planting, as well as areas of complete openness in the form of grass lawns, to create accommodate flexible open play.

To complement the evergreen trees, this design uses ornamental deciduous species which will offer magnificent spring flowers and vibrant autumn foliage, for a truly all-season park.

Recommended Species:

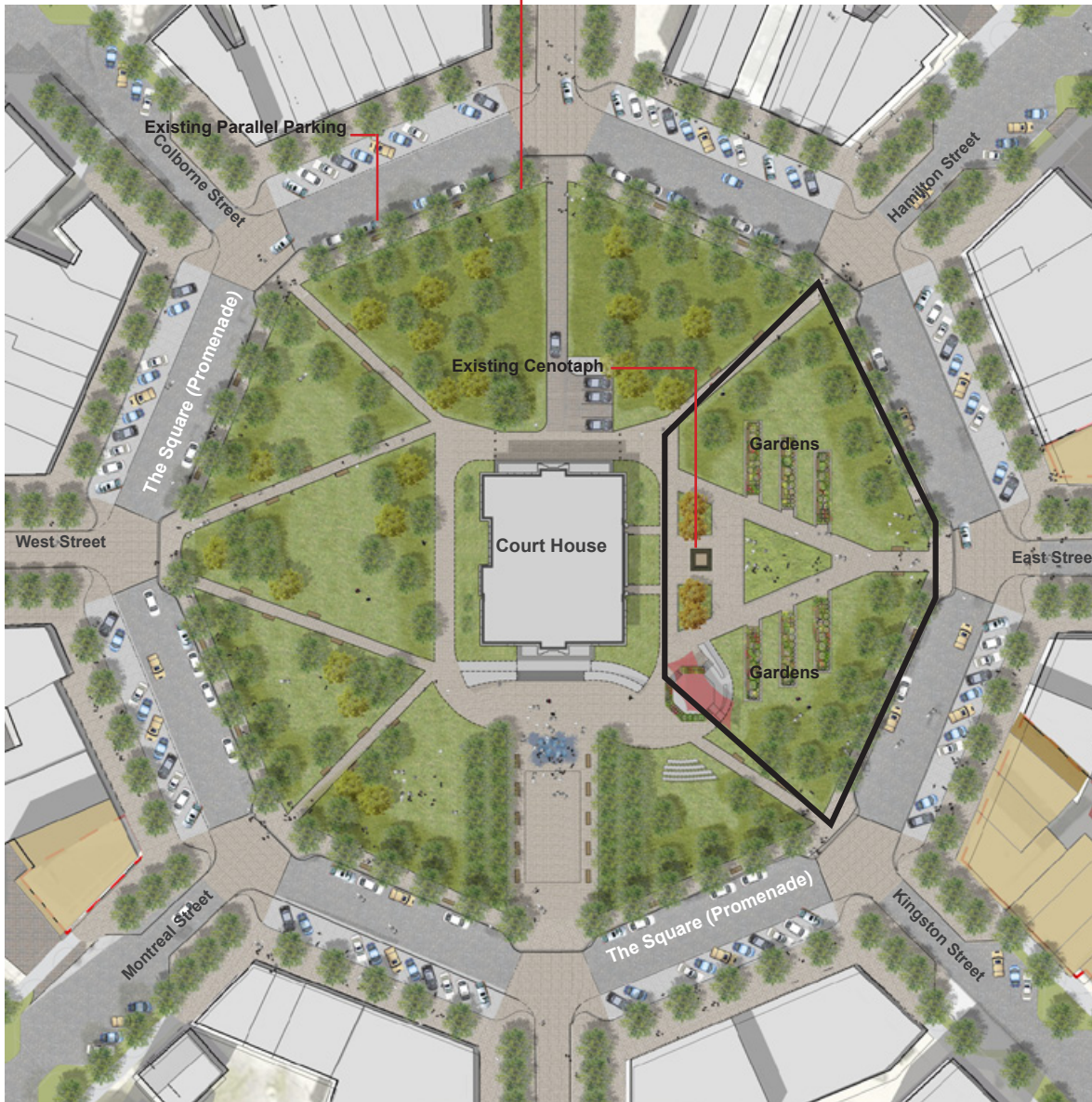
- *Abies balsamea* / Balsam Fir
- *Abies fraseri* / Fraser Fir
- *Picea abies* / Norway Spruce
- *Pinus strobus* / Eastern White Pine
- *Fagus grandiflora* / American Beech
- *Larix decidua* / European Larch
- *Metasequoia glyptostroboides* / Dawn Redwood
- *Prunus x yeddensis* / Yoshino Cherry
- *Quercus bicolor* / Swamp White Oak
- *Sassafras albidum* / Sassafras





Public Realm Design Guidelines 3.0

8.0m wide Pedestrian Promenade (see 4.3.2)



The Commemorative Garden Concept Plan

3.1.3 Commemorative Gardens

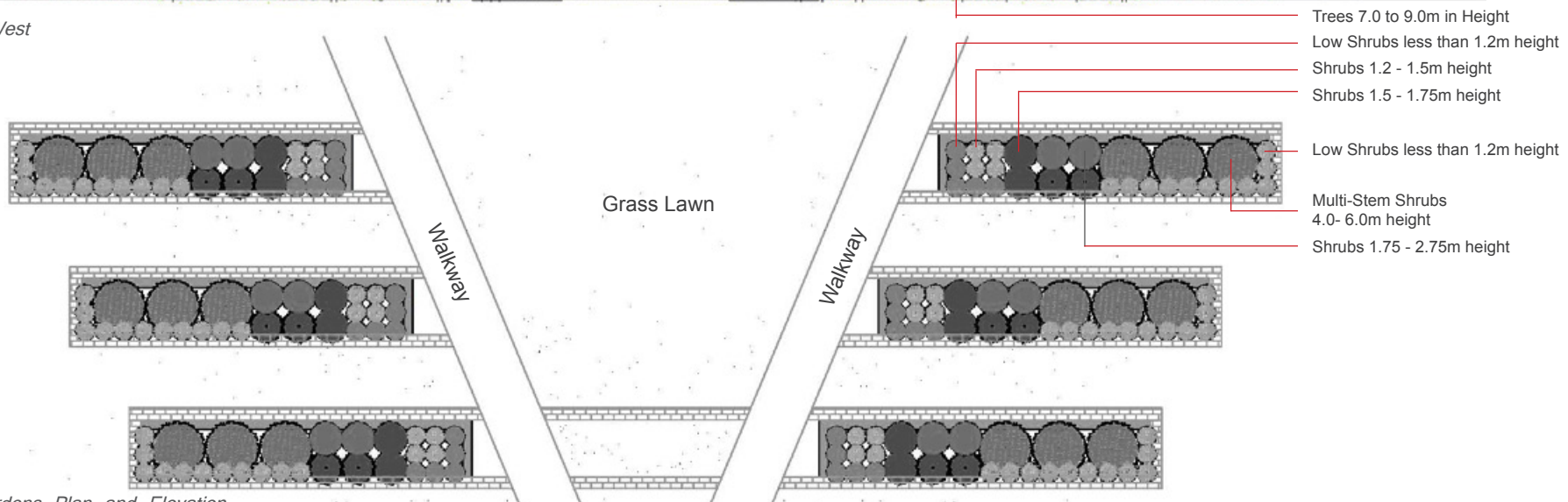
Planting Strategy

With the exception of the street trees, this quadrant of the park is envisioned as a garden rich in texture and colour with a species palette that includes groundcovers, low spreading shrubs, and small trees that, as a total composition, creates an interactive and sensory landscape within the park.





Elevation Looking West



Commemorative Gardens Plan and Elevation

Public Realm Design Guidelines 3.0

Design Strategy

The Gardens are designed to frame the existing cenotaph, preserve the main view from East Street and ensure that the monument remains the focal point of the space.

The Gardens are comprised of a series of planting beds, facing the Court House. They are defined on one side by low concrete walls that serve as seating as well.

Plants should be selected and arranged within the planting bed from the lowest to highest in height, and from the central view cone to the periphery of the view, as suggested by the illustrated elevation to the left. The types of plants that are recommended in these beds, listed by height, are as follows:

Recommended Species:

1. Shrubs Less Than 0.25m – 1.0m in height

- Rhododendron luteum – Yellow Azalea
- Cotoneaster pammeri 'Coral Beauty' – Coral Beauty Cotoneaster
- Potentilla fruticosa 'Goldfinger' – Goldfinger Potentilla
- Various mixed perennials interplanted with Periwinkle (Vinca minor):
 - Crocus (Yellow, Purple, White)
 - Hyacinths (Purple, Light Purple, Pink)
 - Tulips (Yellow, Orange, Red spectrum)
 - Daffodils (Yellow varieties)
 - Lily (Orange varieties)
 - Iris (Yellow and Large Purple varieties)

2. Shrubs 1.2m – 1.5m in height

- Viburnum plicatum F. Tomentosum 'Newsam' – Japanese Snowball Bush
- Ribes alpinum – Alpine Currant
- Sorbaria sorbifolia – False Spirea
- Hydrangea quercifolia – Oak Leaf Hydrangea

3. Shrubs 1.5m – 1.75m in height

- Aronia melanocarpa – Black Chokecherry
- Hamamelis x intermedia 'Diane' – Dianne Hazel
- Amelanchier alnifolia 'Regent' – Alder Leaved Serviceberry
- Viburnum dentatum – Arrowwood Viburnum

4. Small Trees 1.75m – 2.75m in height

- Viburnum dentatum 'Christom' – Blue Muffin Arrowwood
- Physocarpus opulifolius 'Coppertina' – Coppertina Ninebark
- Cornus amomum – Silky Dogwood
- Hamamelis 'Vernalis' – Vernal Witchhazel
- Sambucus canadensis 'Aurea' – Golden Elder

5. Small Trees 4.0m – 6.0m in height

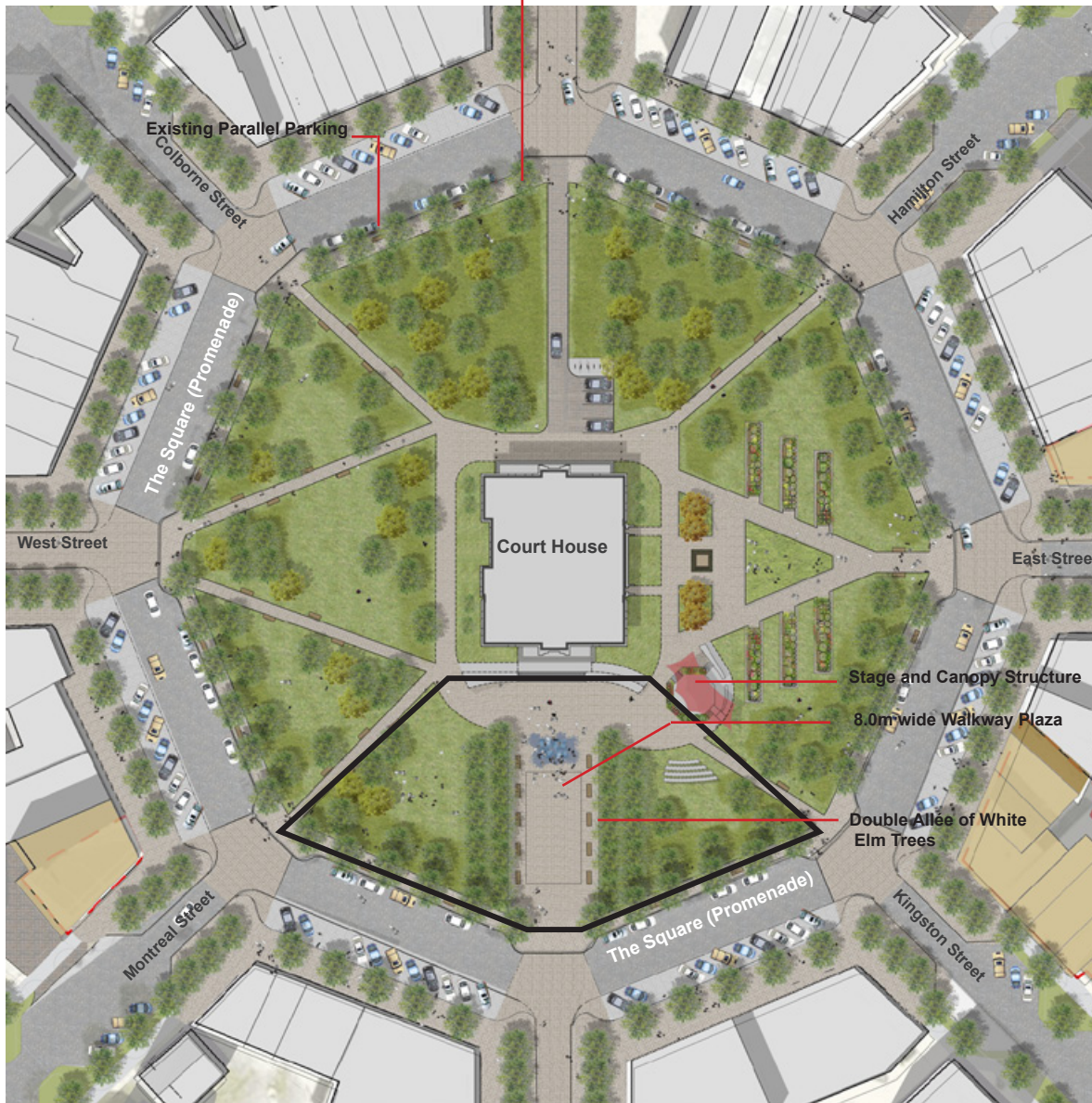
- Amelanchier canadensis – Juneberry
- Acer griseum – Paperbark Maple
- Prunus maackii – Manchurian Cherry
- Hamamelis virginiana – Witch Hazel



Rittenhouse Square, Philadelphia, Pennsylvania

Public Realm Design Guidelines 3.0

8.0m wide Pedestrian Promenade (see 4.3.2)



The Plaza Concept Plan

3.1.4 The Plaza

Planting Strategy

Like the north quadrant, this area is envisioned to be grove-like at times, favouring mostly native, large, high-branched specimens, that will define the landscape well into the century.

Like the west quadrant, this landscape opens up to allow for flexible programming, while defining the space with a strong double-row Allée of elm trees,. This will be achieved through the reintroduction of the white elm tree - a historically important tree to the Town of Goderich.

Recommended Species:

- *Acer nigrum* / Black Maple
- *Acer saccharinum* / Silver Maple
- *Liriodendron tulipifera* / Tuliptree
- *Tilia americana* / American Basswood
- *Sophara japonicum 'Regent'* / Regent Japanese Pagoda Tree
- *Ulmus americana 'Princeton'* / Princeton White Elm
- *Ulmus americana 'Valley Forge'* / Valley Forge White Elm

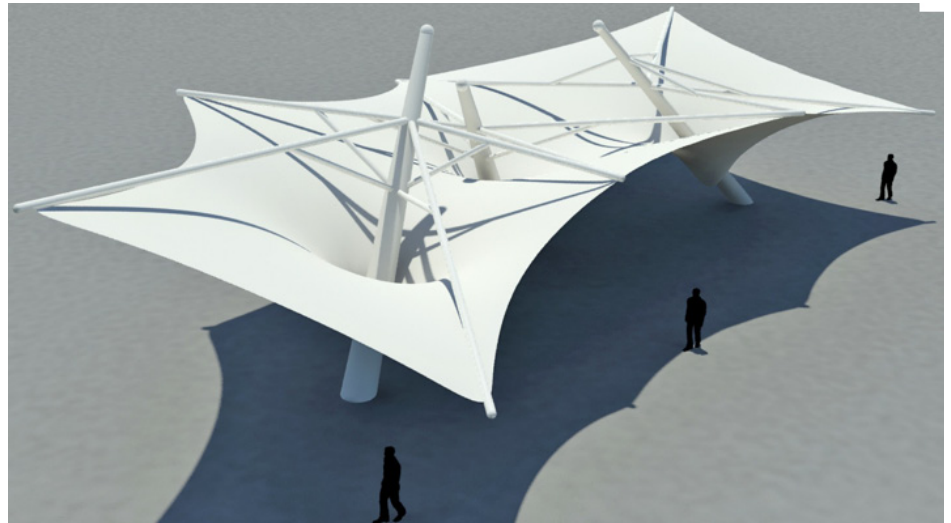


Performance Area

Many of the community, cultural and civic activities and events that occur in Court House Park involve the use of a stage. Prior to the 2011 tornado, the stage / performance area consisted of a gazebo structure on a raised concrete base. Given that the gazebo structure was destroyed, it has been suggested, both in the community workshop, and through subsequent feedback from the steering committee, that a re-envisioning of the performance area would be appropriate.

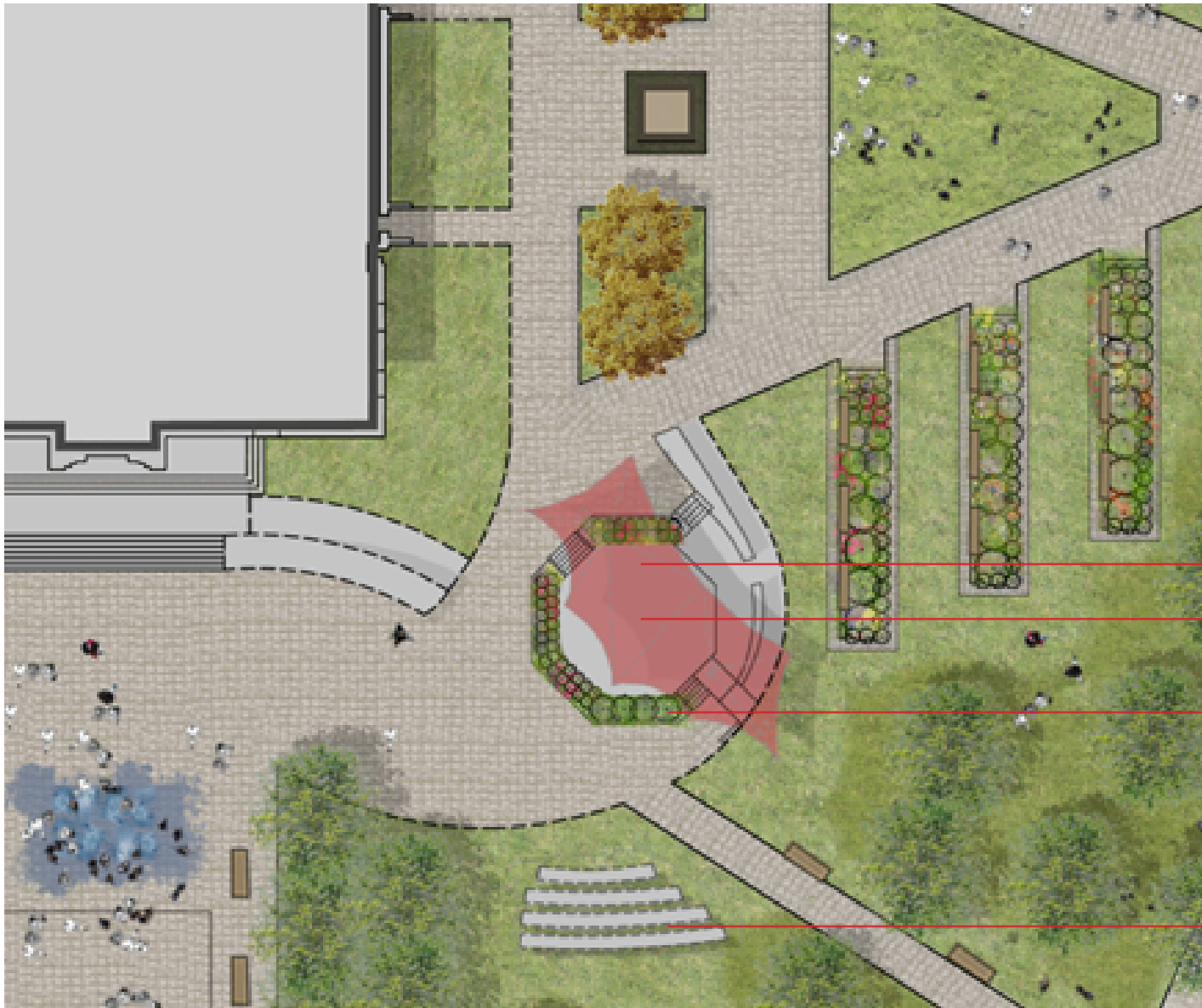
This Master Plan Report provides three options for the redevelopment of the performance area and stage in the general location where the gazebo used to stand. All of the options envision a tensile canopy structure that may be fastened to the southeast corner of the building and extend out over a raised stage area. As a visually light and floating structure, the canopy is intended to provide minimal obstruction to views to the Court House. With its fluid lines and simple form set against the building massing in the background, the canopy will serve to highlight the heritage qualities of the Court House.

The Master Plan recommends a new canopy extending over the existing concrete stage that makes use of the existing seating within the park.



Example of a Tensile Canopy Structure

Public Realm Design Guidelines 3.0



Canopy Structure

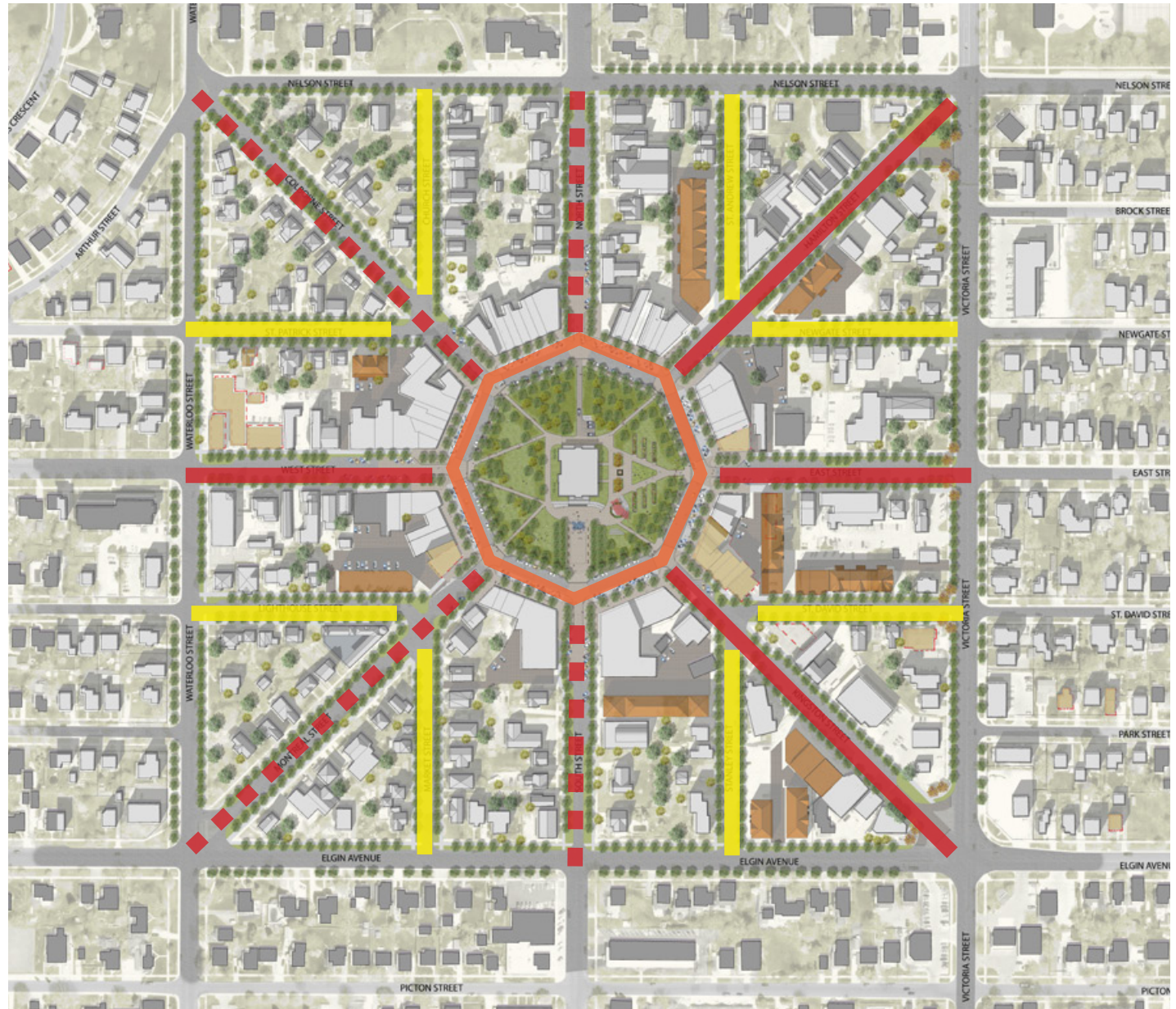
Existing Stage

New Planting Proposed
(See List on page 45)

Existing Seating

The Performance Area Concept Plan

-  The Square
-  Primary Streets (Mixed-Use Streets)
-  Primary Streets
-  Secondary Streets (Residential)



Street Hierarchy Diagram

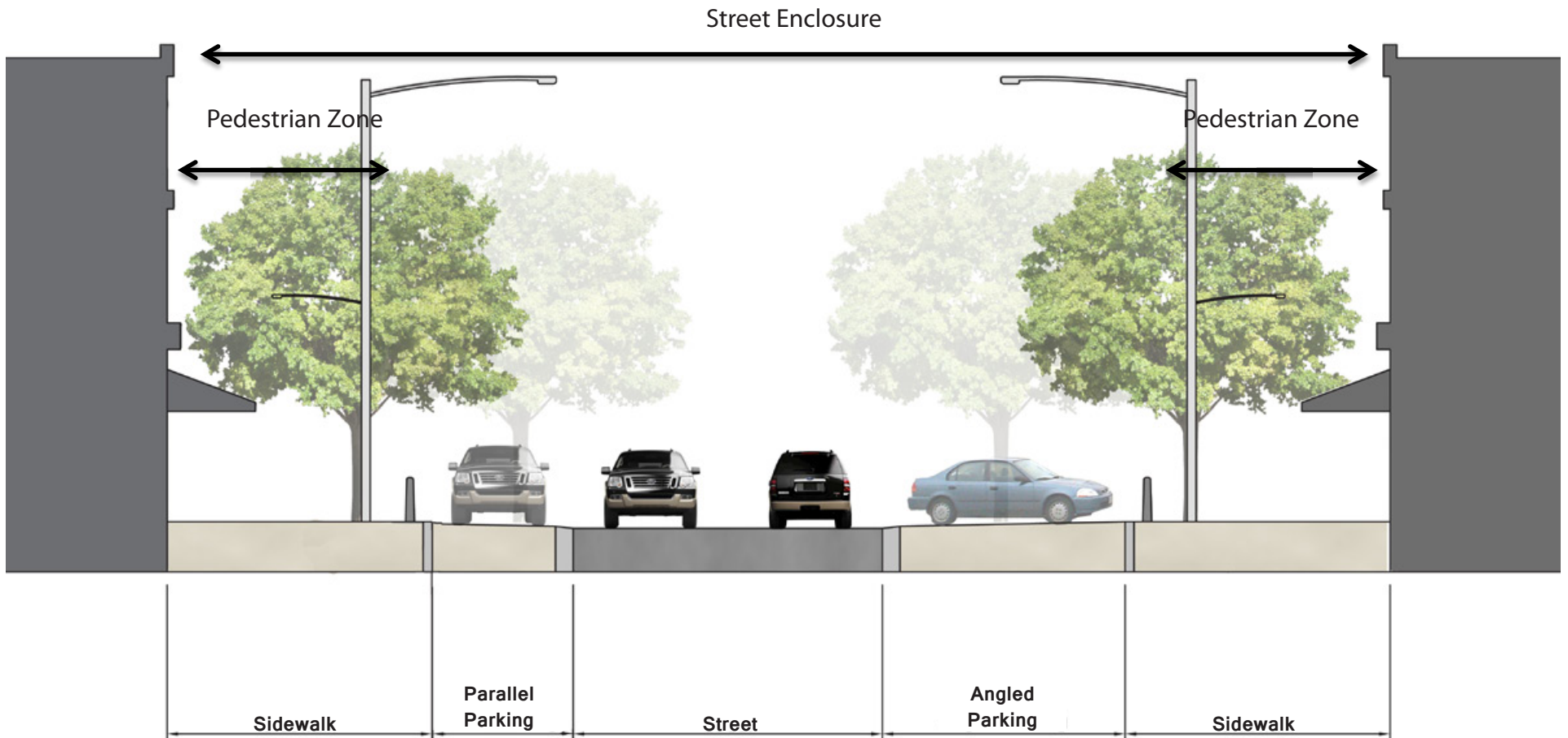
3.2 Streetscape Design

1. Within the Project Area there are three street types: the Square, Primary Streets (Mixed-Use / Retail Streets) and Secondary Streets (Residential Streets). These typologies are based on their adjacent land uses, their particular function for moving traffic, including vehicles, transit, pedestrians and cyclists, as well as their design characteristics. These design guidelines ensure that important streets, those that have a prominent role or important function within the community, are enhanced through appropriate streetscape design measures.
 - The street hierarchy within the Downtown Core shall comprise:
 - The Square – the main retail street;
 - Primary Streets (Mixed-Use) – Hamilton Street, Kingston Street, East Street and Montreal Street, which have also been identified as the streets with the most potential for development as Mixed-Use Streets;
 - Primary Streets – Colborne Street, North Street, South Street, and Montreal Street, whose intersections with The Square provide the opportunity to develop Urban Squares / Festival Plazas (see section 2.5.4); and
 - Secondary Street (Residential) – all other streets located within the Downtown Core
 - The existing street configurations (road cross section within the public right-of-way) for these streets should be modified to emphasize the pedestrian zone; this includes widening the sidewalk and creating boulevard areas for tree planting where some on-street parking currently exists; in some instances this may involve decreasing the paved portion of the carriage way.
 - Wherever possible, a continuous row of street trees should be planted within the boulevard on both sides of the street.

General Design Guidelines

1. Boulevard trees shall be provided and shall be located between the curb and the sidewalk, the 'Pedestrian Zone', where viable.
2. Species selection should be tolerant of the local climate and should avoid the creation of a monoculture.
3. Street furniture shall be coordinated to ensure a consistent and unified streetscape. Furniture shall be strategically placed to provide resting places and shade spots for pedestrians.
4. Benches, waste and recycling receptacles, bicycle racks and tree guards shall be placed with regard for pedestrian comfort and vehicular traffic in and around buildings and parking and loading areas.
5. Pedestrian-friendly streets shall be created through the provision of sidewalks, appropriately scaled decorative lighting, tree planting, architectural variety and with building wall faces that are designed with consistent setbacks and are aligned with right-of-ways to provide a continuous road edge and 'Street Enclosure'. For all streets within the Project Area:
 - on-street parking, where possible and appropriate, shall be accommodated;
 - particular regard shall be had for the preservation or enhancement of scenic vistas along all streets;
 - sidewalks shall be continuous on both sides of the road, with a minimum width of 2.0 metres. Where possible, greater sidewalk widths are encouraged; and,
 - where street reconstruction projects are proposed, a detailed streetscape plan by a qualified Landscape Architect shall be required prior to Council's approval to proceed with or tender the project.
6. The Project Area includes a fine-grained street network. The existing street network is unique to Goderich and provides the organizing framework for development. In addition, the grid of streets establishes the size of development blocks. The grid of streets is identified on Map 4.
7. The consistent pattern of streets and development blocks in The Project Area facilitates development. As such, the existing street and development block pattern shall be maintained.

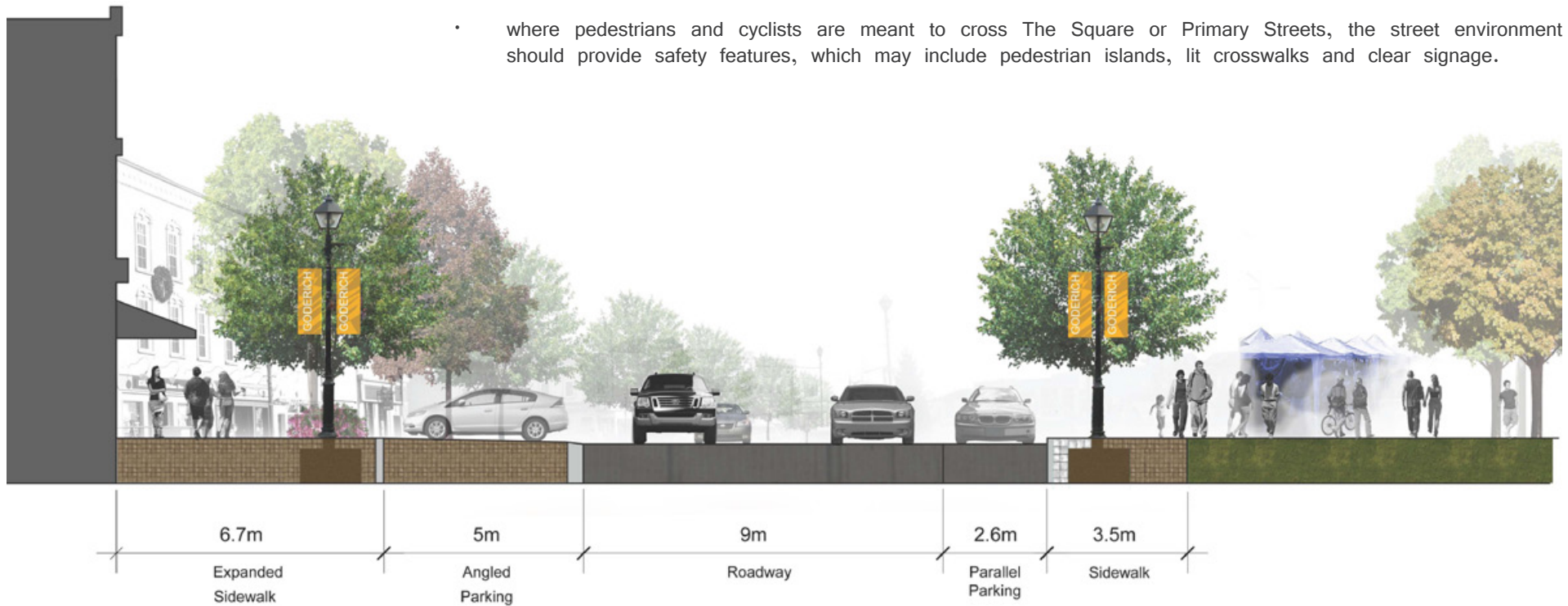
Public Realm Design Guidelines 3.0



Typical Street Cross Section

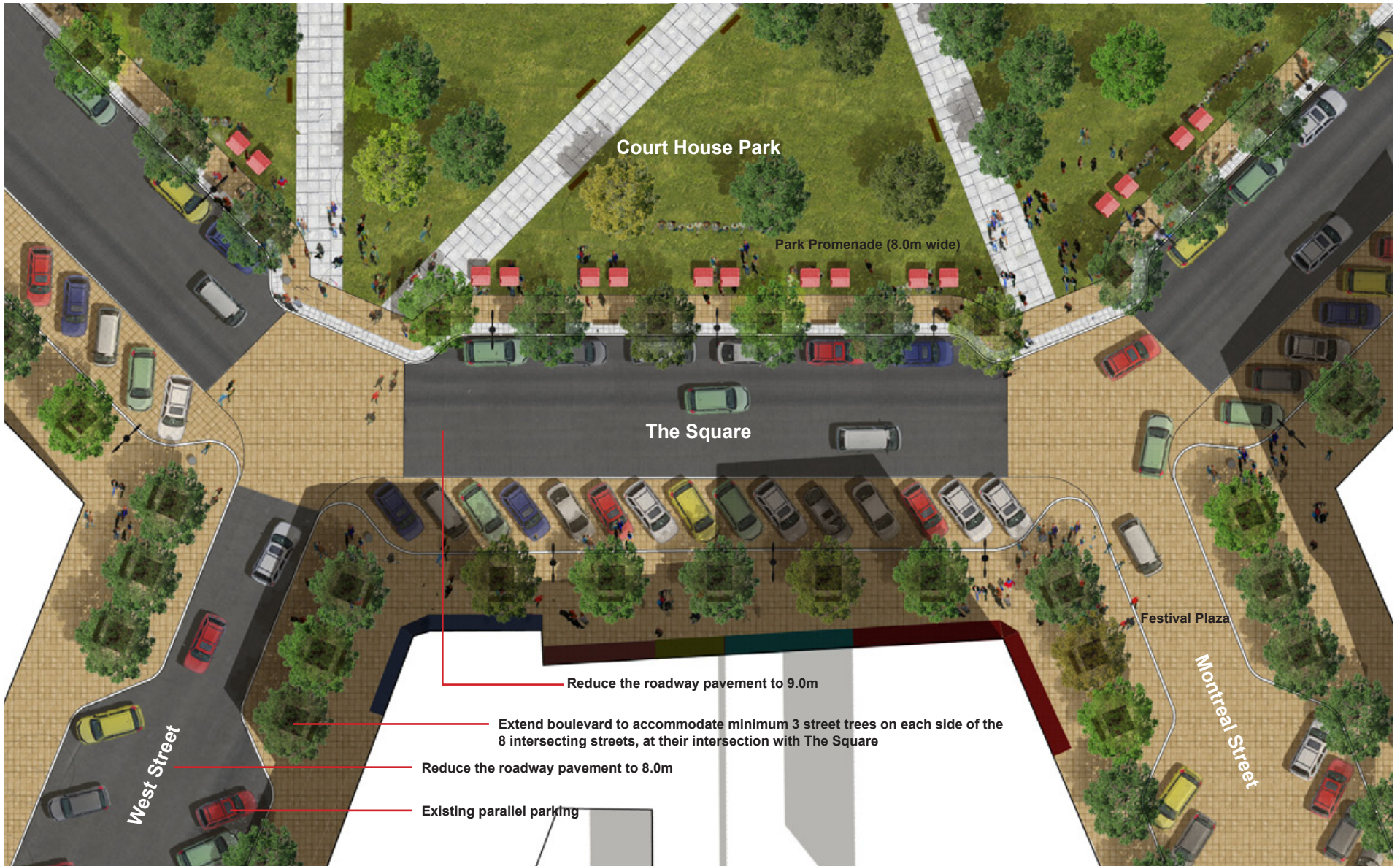
3.3 The Square (Promenade)

1. The Square and the Primary Streets are the highest order of roads in the 'Downtown Area'. They have distinct identities and characteristics that should be enhanced with the following improvements to make them enjoyable, safe and walkable environments:
 - in retail areas, the sidewalks should provide space for outdoor cafes and retail uses. Visual and textural materials should be considered for pedestrian paving to clearly delineate the pedestrian thoroughfare for the visually impaired and to help limit encroachments;
 - trees along The Square and the Primary Streets should be located along the curb edge and shall be protected by tree grates and guards;
 - pedestrian scale decorative lighting shall illuminate the sidewalks. Where space permits, hardscaped boulevards shall line the roads, separating pedestrians from vehicles to facilitate safe pedestrian movement; and,
 - where pedestrians and cyclists are meant to cross The Square or Primary Streets, the street environment should provide safety features, which may include pedestrian islands, lit crosswalks and clear signage.



The Promenade Cross Section

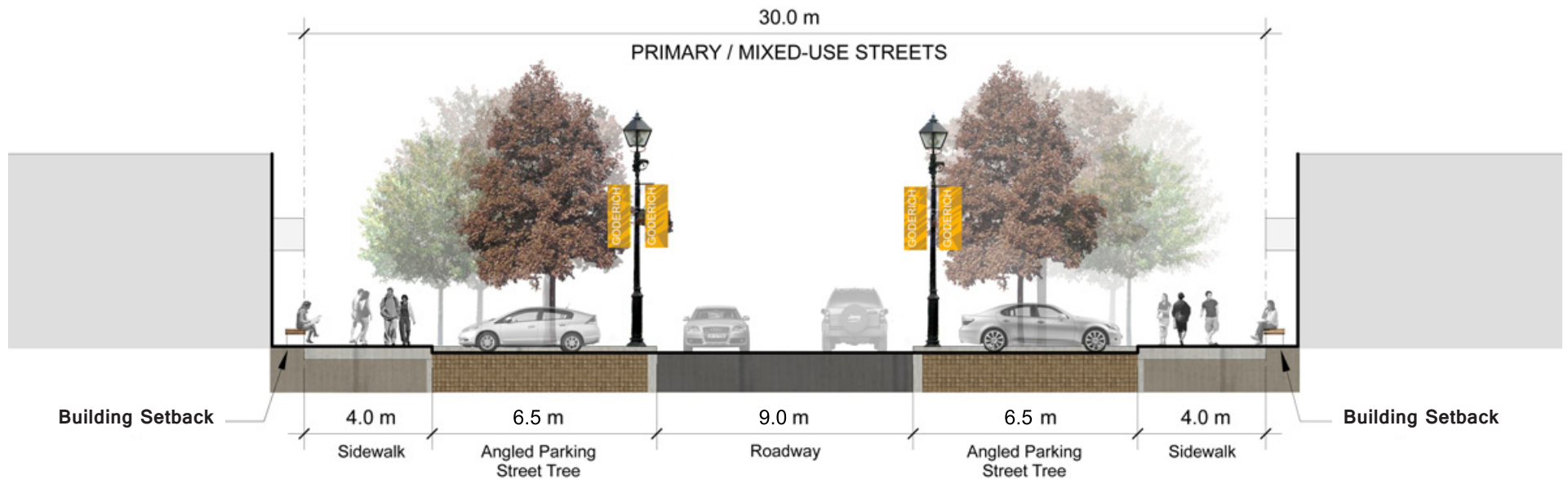
Public Realm Design Guidelines 3.0



The Promenade Plan

3.4 Primary Streets

1. Primary Streets located within the Project Area are lined with a range of retail, commercial and mixed-use buildings, and parking areas and should be designed as follows:
 - sidewalks should be continuous on both sides of the street, poured in place concrete with a minimum width of 2.4 metres;
 - where space permits, hardscaped boulevards shall line the roads, separating pedestrians from vehicles to facilitate safe pedestrian movement;
 - at key locations, such as the throat to the The Square and at the perimeter of The Downtown Core, landscaped boulevards should be created; and,
 - road lighting should illuminate both the pedestrian and vehicular realm.

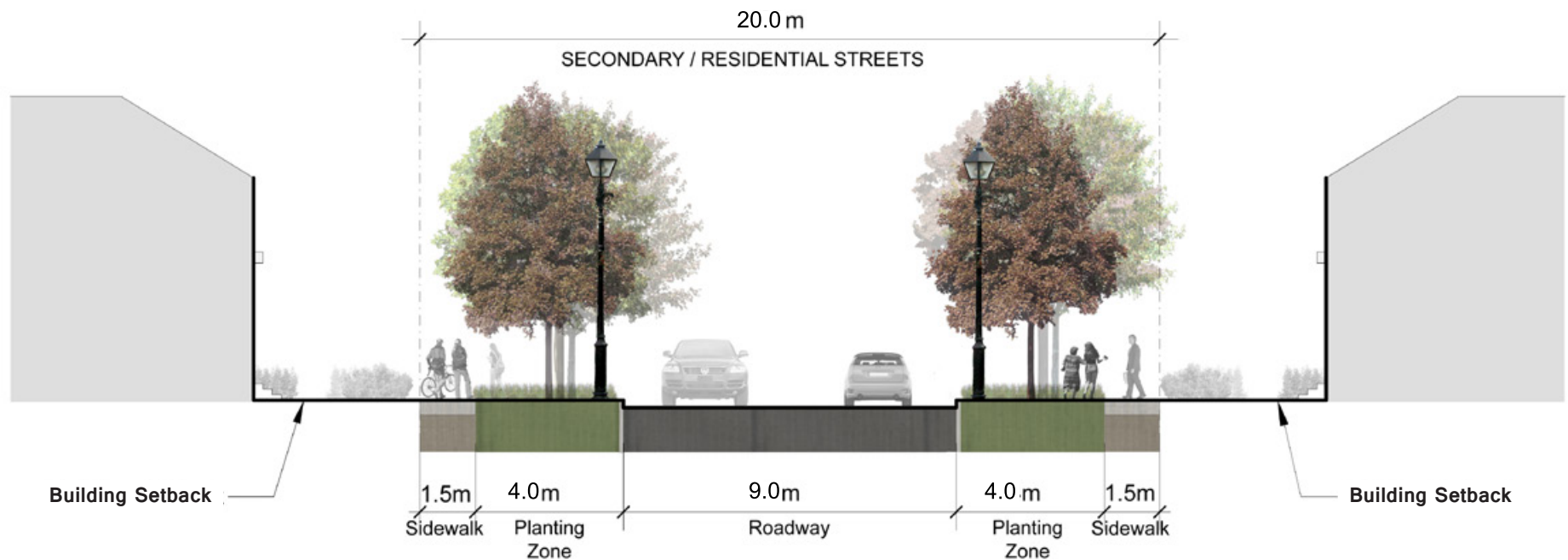


Primary Streets Typical Cross Section

Public Realm Design Guidelines 3.0

3.5 Secondary (Residential) Streets

1. Residential Streets located within the Project Area are lined with residential gardens, lawns and mature trees and should be designed as follows:
 - sidewalks should be continuous on both sides of the street, poured in place concrete with a minimum width of 1.5 metres;
 - where space permits, hardscaped boulevards shall line the roads, separating pedestrians from vehicles to facilitate safe pedestrian movement; and,
 - road lighting should illuminate both the pedestrian and vehicular realm.



Secondary Streets Typical Cross Section

3.6 Proposed Vegetation

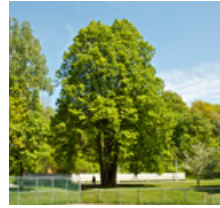
PERMANENT CLIMAX CROP



Gymnocladus dioicus
Kentucky Coffee Tree



Celtis occidentalis
Common Hackberry



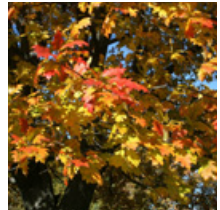
Tilia americana
American Basswood



Zelkova serrata 'Green Vase'
Japanese Zelkova



Ginkgo biloba
Maidenhair Tree



Quercus robur
English Oak



Phellodendron amurense
Amur Corktree



Ostrya virginiana
Ironwood



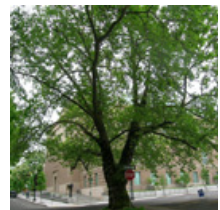
Quercus muehlenbergii
Chinkapin Oak



Quercus bicolor
Swamp White Oak



Quercus rubra
Red Oak



Platanus x acerifolia
London Planetree

PIONEER NURSE CROP



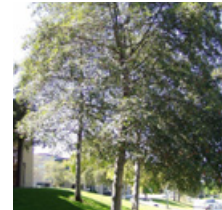
Liriodendron tulipifera
Yellow Poplar



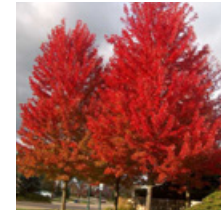
Catalpa speciosa
Northern Catalpa



Acer saccharinum
Silver Maple



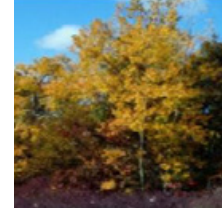
Alnus rhombifolia
White Alder



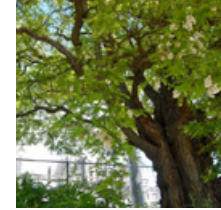
Acer freemanii
Freeman's Maple



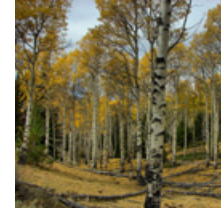
Alnus glutinosa
Black Alder



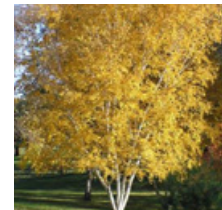
Populus grandidentata
Canada Aspen



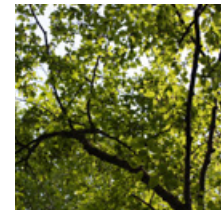
Robinia pseudoacacia
Black Locust



Populus tremuloides
Trembling Aspen



Betula papyrifera
Paper Birch



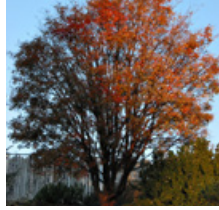
Betula alleghaniensis
Yellow Birch

Public Realm Design Guidelines 3.0

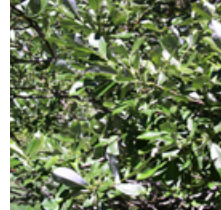
SMALL TREES & SHRUBS



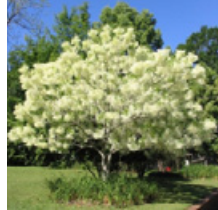
Cercis canadensis
Eastern Redbud (9m)



Acer griseum
Paperbark Maple (6m)



Salix lucida
Shining Willow (5.5m)



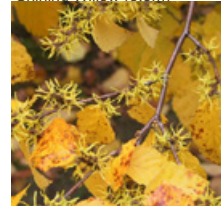
Chionanthus virginicus
Fringetree (5m)



Carpinus caroliniana
Musclewood (7m)



Viburnum lentago
Nannyberry (6m)



Hamamelis virginiana
Witch Hazel (5m)



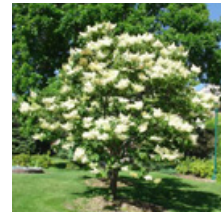
Cornus alternifolia
Pagoda Dogwood (5m)



Prunus virginiana
Chokecherry (7m)



Amelanchier canadensis
Juneberry (5.5m)



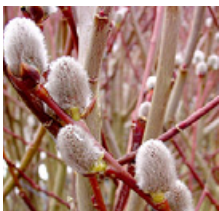
Syringa reticulata
Japanese Silk Lilac (5m)



Acer tataricum
Tatarian Maple (4.5m)



Cornus mas
Cornelian Cherry (6m)



Salix discolor
Pussy Willow (5.5m)

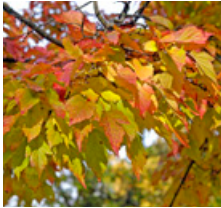


Salix bebbiana
Becked Willow (5m)



Crataegus laevigata
English Hawthorne (4.5m)

SMALL TREES & SHRUBS



Acer ginnala
Amur Maple (4m)



Viburnum lantana
Wayfaring Tree (3m)



Aesculus parviflora
Bottlebrush Buckeye (2.5m)



Cornus stolonifera
Red Osier Dogwood (2m)



Clethra alnifolia 'paniculata' /
Summersweet (1.5m)



Amelanchier arborea
Downy Serviceberry (3m)



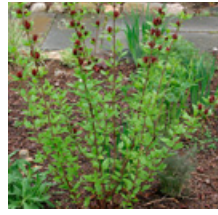
Hamamelis x intermedia arnold's
Hamamelis vernalis
promise / Witch Hazel (2.5m)



Vernal Witch Hazel (2.5m)



Cephalanthus occidentalis /
Buttonbush (2m)



Calycanthus floridus
Carolina sweetshrub (1.5m)



Cornus racemosa
Grey Dogwood (3m)



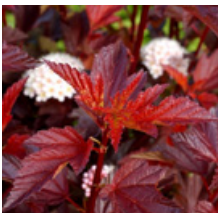
Cornus amomum
Silky Dogwood (2.5m)



Viburnum dentatum
Arrowwood (2m)



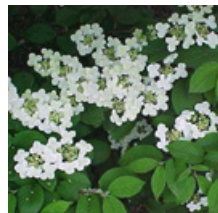
Aronia arbutifolia 'Brilliantis-
sima' / Red chokeberry (2m)



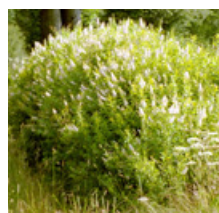
Physocarpus opulifolius
Common Ninebark (3m)



Sambucus canadensis
American Elderberry (2.5m)









Viburnum plicatum 'tomentosum'
/ Doublefile Viburnum (2m)



Spiraea alba
Meadowsweet (1.5m)

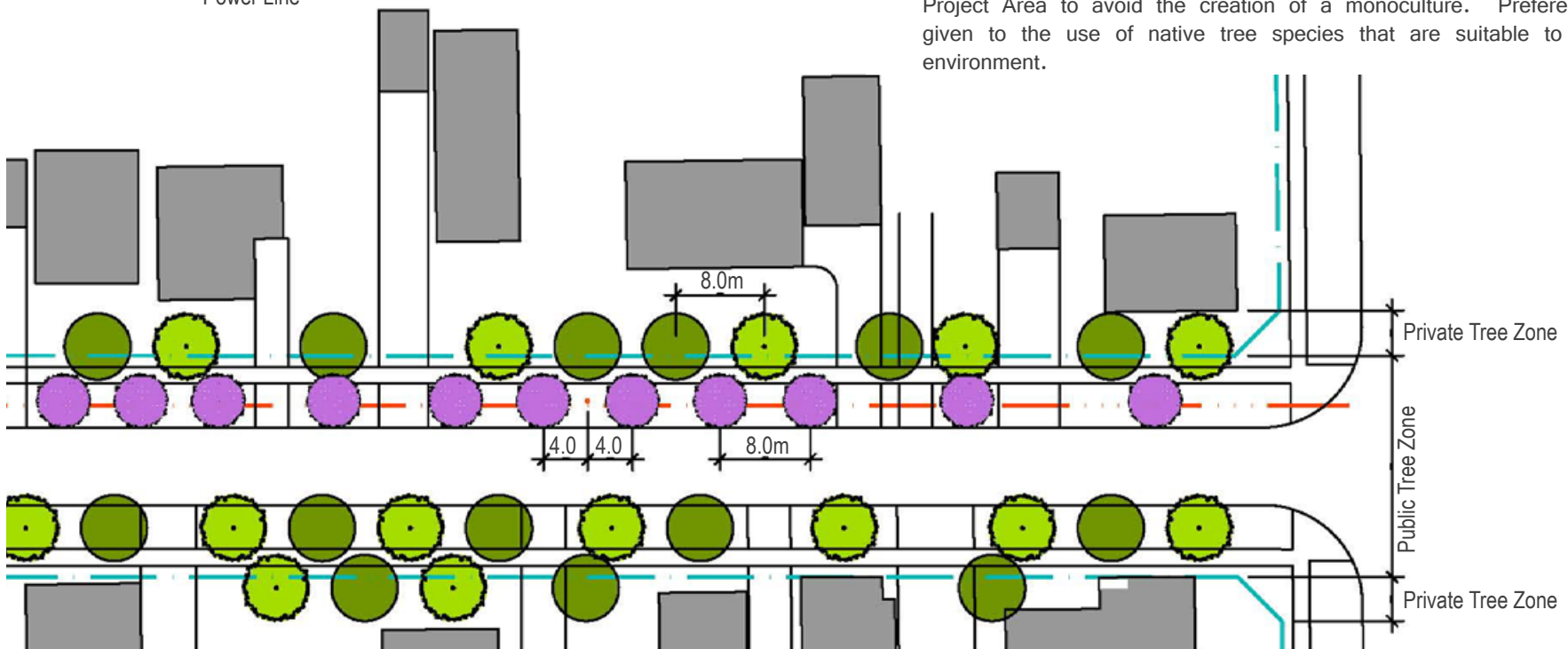
Public Realm Design Guidelines 3.0

LEGEND

-  Climax Canopy Tree
-  Pioneer Canopy Tree
-  Small Canopy Tree (near power lines)
-  Utility
-  Property Line
-  Power Line

3.7 Greening Strategy for Streets

1. Trees are an important part of the character and a legacy of Goderich that should both plan for and protect for future generations to enjoy. This is particularly important given the effects of the tornado.
2. In general, all proposed street trees should be planted in continuous tree trenches to ensure access to adequate soil volumes. Tree trenches should be irrigated and drained, where possible.
3. A variety of tree species should be used throughout and adjacent to the Project Area to avoid the creation of a monoculture. Preference shall be given to the use of native tree species that are suitable to the planting environment.



Typical Street Tree Planting Design

3.8 Greening Strategy for the Downtown Core Area

This strategy will provide overall recommendations on the types and locations of trees to be planted within the Core Area, and similarly affected areas, with a goal of establishing a sustainable urban canopy that supports a hierarchy of streetscapes. The Greening Strategy is premised on:

- Successional planting
- The right plant in the right place
- Planting for the seasons

Urban Soil Reality

The current reality of the urban soils in Goderich is one of diminished soil profiles, low organic matter content, and high salinity levels due to heavy winter salting. And while generally, the soil seems to have retained a lot of its potential, with regard to relatively established soil profiles, and organic matter content, these soils do behave like typical urban environments, in terms of compaction levels.

Compaction has taken its toll, and there is an imbalance between the desired 50% Pore-Void Space and 50% Solid-Organic Space, also referred to as restoring the soil's Bulk Density.

Soil is frequently the principal impediment to the mature and healthy development of a tree specimen, so it is critical to restore the function of the soil prior to the next generation of tree planting, as to give the trees the greatest possible chance for unimpeded development.

Trees do what trees do best when they are mature and have a healthy leaf area index, with a strong, established and connected canopy.

HEALTHY SOIL =

PORE SPACE + ORGANIC MATTER + MICROORGANISMS

HEALTHY TREES =

HEALTHY SOIL + WATER + MAINTENANCE



Surviving Tree in Court House Park



Constrained Tree Pit

Public Realm Design Guidelines 3.0

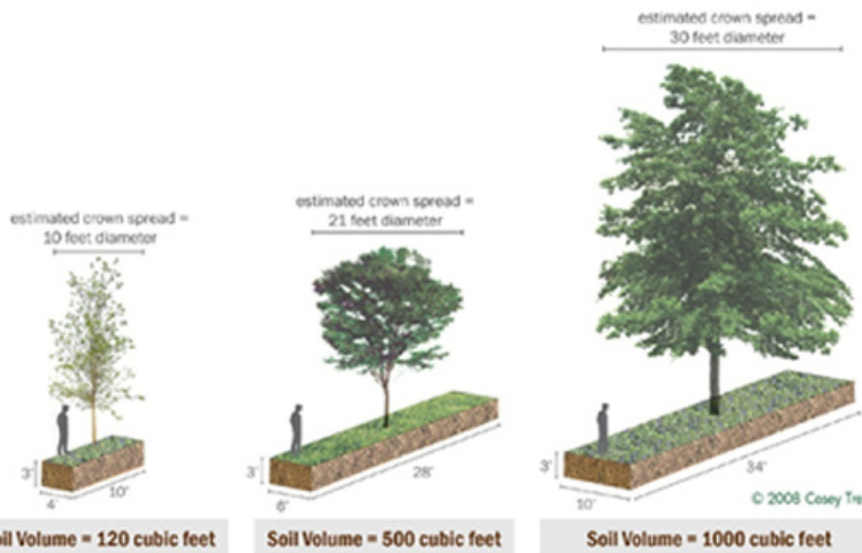
Soil Volume

If this design is to achieve its mandate of mature, healthy street trees, investment in subsurface infrastructure is necessary. This encourages root growth within channels that are unimpeded by compacted soils, and function as connected soil trenches, of sufficient volumes to support mature tree growth, understanding that biomass is virtually equal above and below ground.

Consistent with several park and city guidelines in North America, each street tree should have no less than 30 cubic metres of soil in order for it to achieve its full growth potential. While this is the desire, it is understood that as areas become more urban, and space becomes more constrained, trees often cannot get more than 15 cubic metres; however shared soil volumes of 30 cubic metres are still very much encouraged.

To determine the feasibility of this objective, a plan demonstrating the maximum potential soil volumes relative to subsurface interruptions of the root volume continuity should be provided to explain methodology to the Town, prior to development.

By connecting soil as a system rather than a pit, the roots can grow together, sharing the rooting volume. A shared soil volume behaves more naturally, and has the added benefits of building healthier soil profiles, and promoting more symbiotic relationships, between roots and healthy tree growth.



Soil Volumes



Root Area and Urban Stressors

Soil Technologies

When soils are particularly compacted, or are displaying low levels of organic matter, plants will struggle to establish, and typically fail within a decade of transplanting. In these instances the following technologies can be observed to improve a trees establishment post-transplantation.

1. Mechanical Solutions
2. Air Excavation
 - Localized bursts of pneumatic pressure to break up compacted soils
 - Restores bulk density and soil matrix (ie. ratio of void to solid space)
3. Vertical Mulching
 - Soil coring as to provide deep root aeration
 - Backfill holes with soil prescription based on soil amendment needs
 - Suitable amendments – gypsum and calcium for soil buffering, deep root fertilizer, organic matter/carbon

Structural Solutions

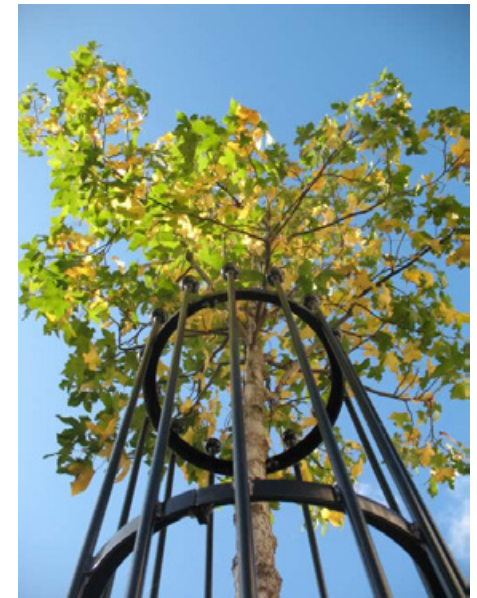
1. Structural Soil Cells
 - Silva Cell (Company: Deep Root)
 - Strata Cell (Company: City Green)
2. Structural Soils – Sands
 - Any soil medium mixed with granular/aggregate material, as to incorporate structural angles that will bear the load of above ground weight, toward the mitigation of soil compaction issues
 - When drainage is of particular concern the soil mixed with the aggregate can be of a higher sand content



Structural Soil Cells



Flexible Tree Ties



Tree Guard

Public Realm Design Guidelines 3.0



Urban Tree Grate



Sub-Surface Tree Stake



Sustainability Furnishings

Urban Tree failure can occur for many reasons. Two more typical reasons are persistent physical damage of a trees trunk or branches, or as previously mentioned, soil compaction.

1. Tree Guards
 - Protect the trunk of a tree from bruising, which is the conduit of the trees vascular, or feeding system.
 - Prevent the encroachment of permanent or temporary structures (ie. market stalls, special event spaces, locked bicycles) that may indirectly damage tree trunks.
2. Tree Grates
 - In urban environments, open pit tree planting exposes soil, and provides areas of impeded circulation. While the open pits encourage greater air exchange between the soil and the atmosphere, as well as better water infiltration into the soil, they can become compact from above ground pedestrian traffic.
3. Flexible Tree Ties
 - In an attempt to mitigate serious impediments to tree growth from rigid tree ties (ie. to affix lights, electrical conduits), flexible trees ties that grow with the tree, are seriously encouraged
 - Flexible tree Tie Product by City Green

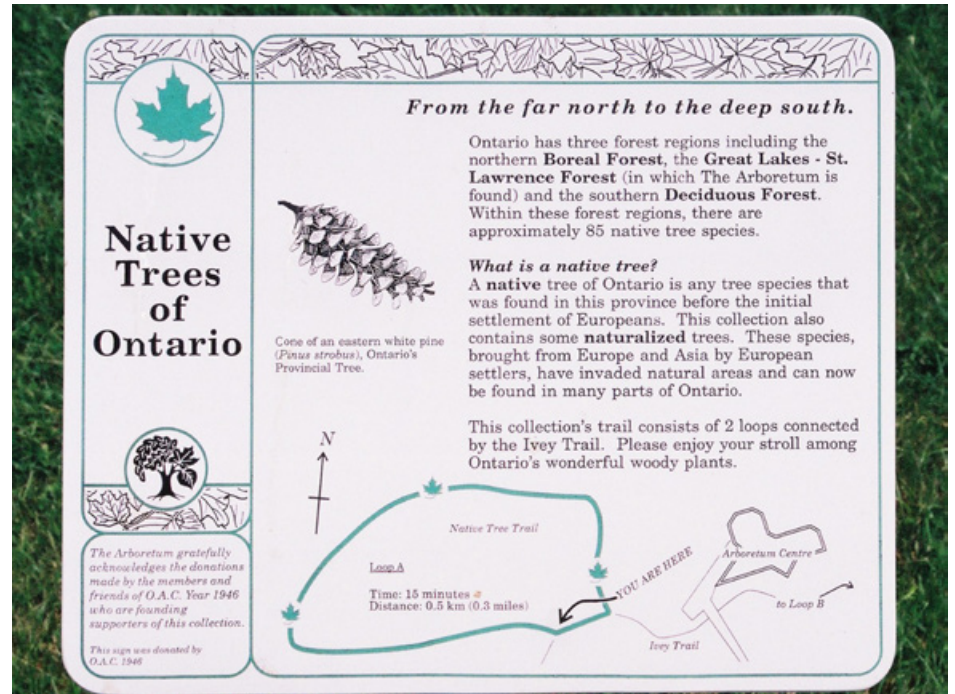
Donor Recognition

The Town of Goderich has expressed the desire to acknowledge the significant donations received for the rebuild of the Town. As part of this Master Planning process, The Planning Partnership has provided technical drawings for Court House Square Park. These drawings reflect a very broad range of caliper sizes, from the more typical 70–120mm, to extremely large specimens. As well as the range of sizes, the park will be planted with an extremely diverse array of tree and shrub species that will be so biodiverse that the Park could be thought of as a future Arboretum for the Town of Goderich. This would be a testament to the resiliency of the Town, and its dedication to replanting efforts, and the future of Goderich's Urban Forest.

In light of this commitment, a creative example of donor recognition would be to acknowledge donors as part of a tree identifying system which not only acknowledges the efforts on the donor. The label also interprets the tree species of park users, and potentially a 'quick fact', all the while encouraging a greater connection of the Town with its natural environment.



Dedication Plaque

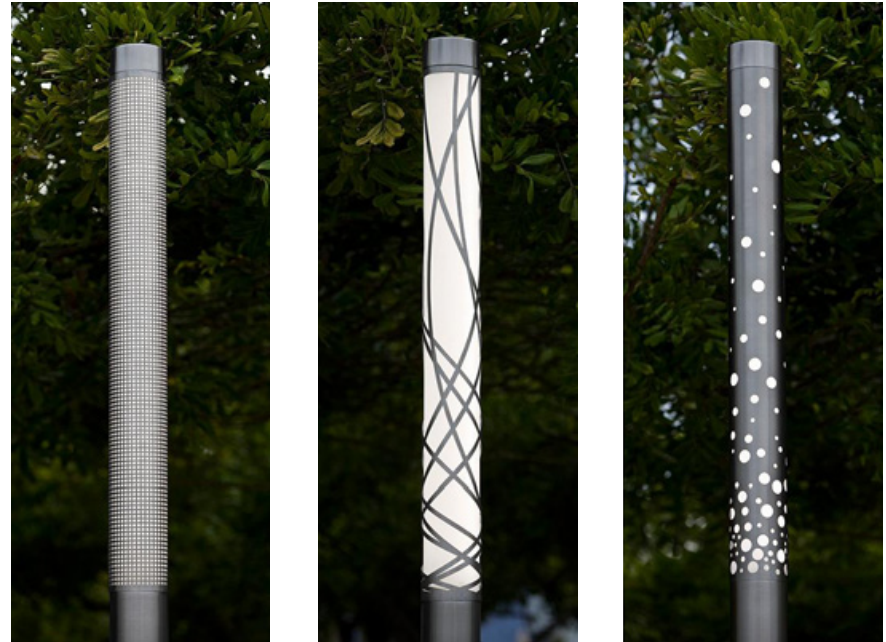


Interpretative Signage

Public Realm Design Guidelines 3.0

3.9 Coordinated Street Elements

- 1) The provision of street elements within the public realm will enhance both the pedestrian experience as well as promote a high-quality image of the community:
 - street elements include paving, benches, waste and recycling receptacles, bicycle lock-ups, bollards and street lights;
 - street elements should be coordinated such that style, materials, and colours are similar and complementary; and,
 - the placement of street elements should consider convenience, comfort, safety and coordination with adjacent buildings or other elements or utilities within the public realm.



Light Standard Options



Bollard Option



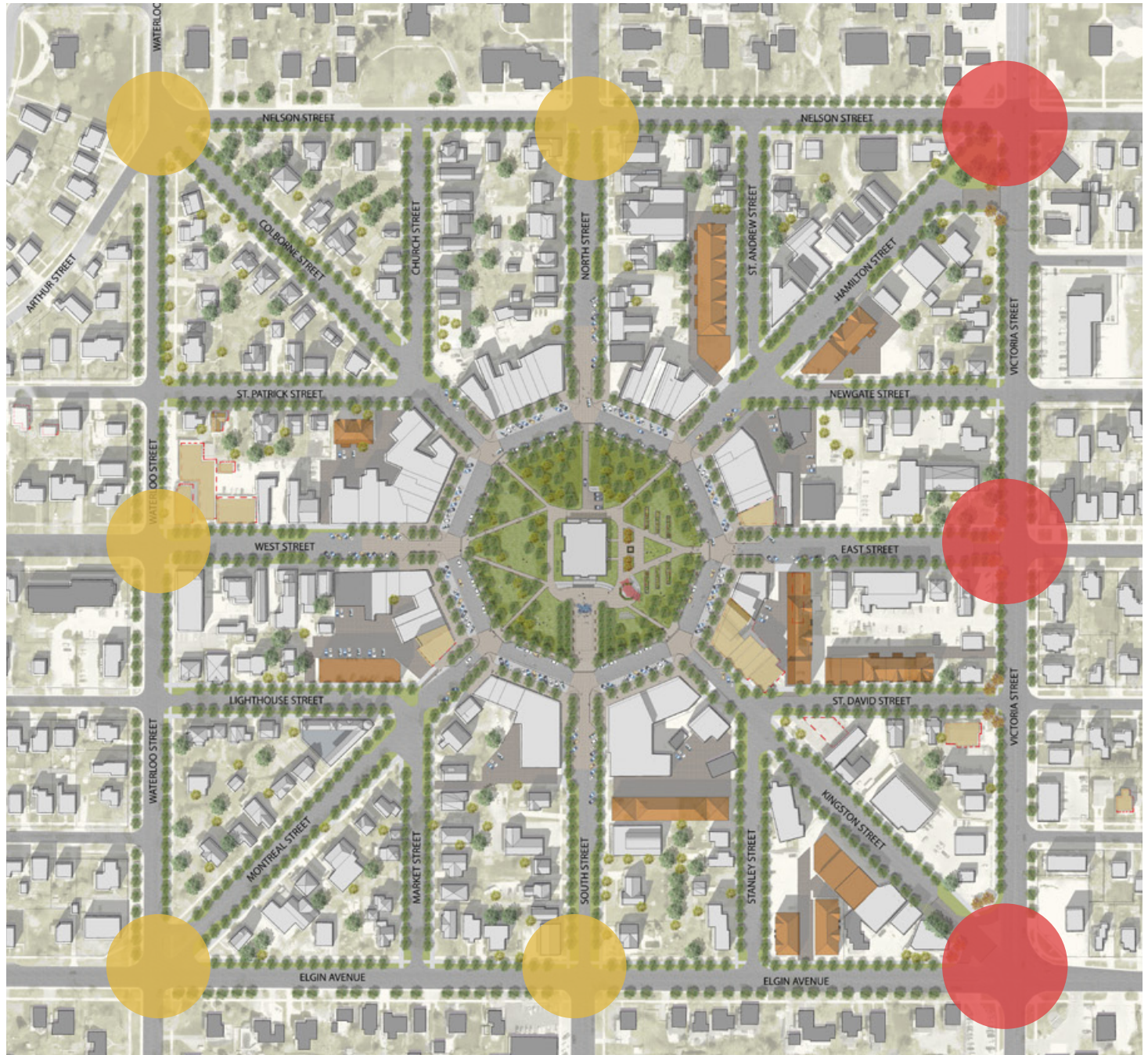
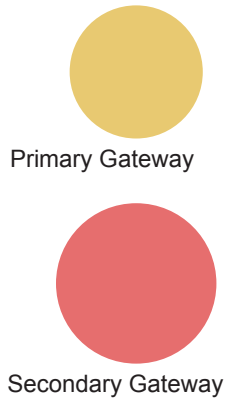
Bicycle Lock Up Section



Bench Option



Waste Receptacle



Gateway Diagram

Public Realm Design Guidelines 3.0

3.10 Gateways

1. Council will promote the development of gateways into The Downtown Area at the locations identified symbolically on the map to the left. These gateways will be designed to:
 - assist wayfinding, promote community identity and highlight the entrances to The Downtown Core Area;
 - be located on public lands; and,
 - enhance but not compete with surrounding existing historic and/or architectural features.
2. Primary Gateways (identified by the red circles on Map 5) are to be located at the primary entrances to The Downtown Area from Victoria Street and include Hamilton Street, East Street and Kingston Street;
3. Potential Secondary Gateways (identified by the yellow circles on Map 5) are to be located at secondary entrances to The Downtown Area from Nelson Street, Waterloo Street and Elgin Street. These include West Street, Montreal Street, South Street, North Street and Colborne Street;
4. Gateway design may incorporate appropriate architectural features, interpretive media, design motifs, and/or landscape treatments that define these main entrances to The Downtown Area:
 - planting and decorative paving treatments shall be consistent;
 - the same type of planting treatment should be considered in the locations of the 'Pillars'; and,
 - a standard palette of planting, such as that shown on this and the facing page, may be considered as one way to create unity and recognition of the various Gateway locations.
5. A public art program / process may be implemented as part of the development of the Gateways;
 - the public art components may take many different forms, including, for example, commemoration of notable people from the community, commemoration of historic or significant events and/or expressions of community visions, goals, values.

Greening Strategy for Gateways

FALL COLOUR

CANOPY TREES



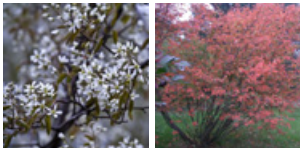
Carpinus caroliniana / Blue Beech



Nyssa sylvatica / Black Gum



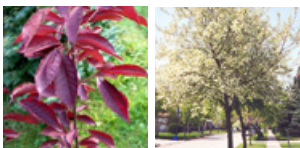
Cercis canadensis / Eastern Redbud



Amelanchier canadensis / Juneberry



Prunus maackii / Manchurian Cherry



Prunus virginiana 'Schubert' / Schubert Cherry

TALL SHRUBS



Hamamelis virginiana / Witch Hazel



Acer griseum / Paperbark Maple



Amelanchier arborea / Common Serviceberry



Viburnum Lentago / Nanny Berry

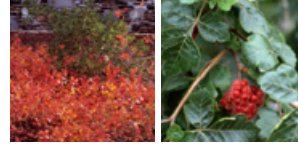


Cornus mas / Cornelian Cherry



Cornus Alternifolia / Pagoda Dogwood

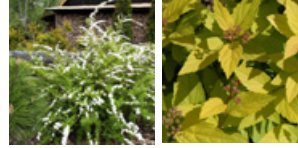
LOW SHRUBS



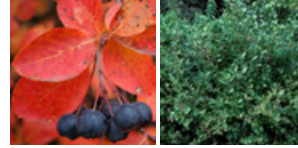
Rhus aromatica / Fragrant Sumac



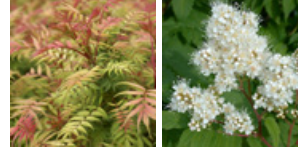
Hamamelis x intermedia 'Arnold Promise' / Witch Hazel



Spiraea x arguta 'Compacta' / White Spirea



Aronia melanocarpa / Black Chokeberry



Sorbaria sorbifolia / False Spirea



Chionanthus virginicus / Fringe Tree

PERENNIALS



Koeleria pyramidata / Prairie Junegrass



Sorghastrum nutans / Indian Grass



Panicum virgatum / Switch Grass



Vinca minor / Periwinkle



Liriope muscari 'Monroe's White' / Lilyturf



Galium odoratum / Sweet Woodruff

PERENNIALS



Dennstaedtia punctilobula / Hay Scented Fern



Matteuccia struthiopteris / Ostrich Fern



Pteridium aquilinum / Bracken Fern



Athyrium filix-femina / Lady Fern



Sporobolus heterolepis / Prairie Dropseed

SPRING FLOWERS

FULL SEASON

Public Realm Design Guidelines 3.0

Public Art Strategy for Gateways



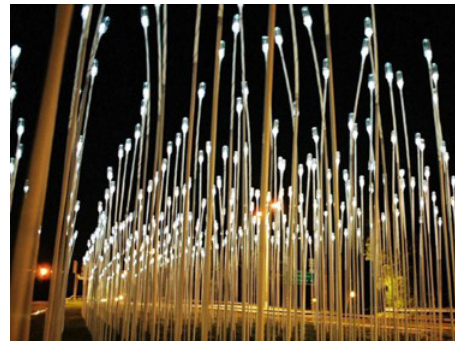
Examples of Public Art - Ottawa, ON



Examples of Public Art - Vancouver, BC



Example of Public Art - County Court House, Everett, WA



Example of Public Art - Arlington, VA



Example of Public Art - Dublin, Ireland



Example of Public Art - Calgary, AB

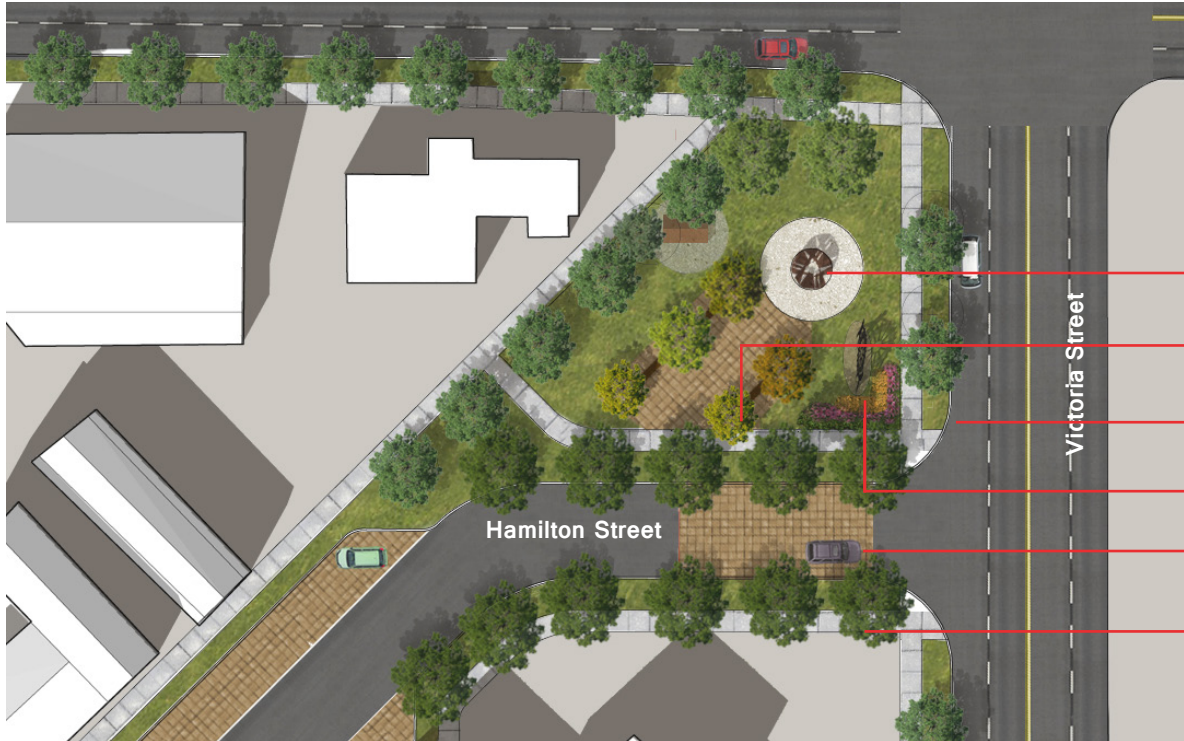


Example of Public Art - Chattanooga, TN



Example of Public Art - Madison Square Park, New York

Hamilton Street Gateway (Liberation Memorial Park)



Existing Sculpture / Fountain

Pedestrian Walkway

Flowering Deciduous Trees at intersection

Specimen Shrubs / Perennials

Decorative Roadway Paving

Street Trees spaced 8 to 10 metres apart

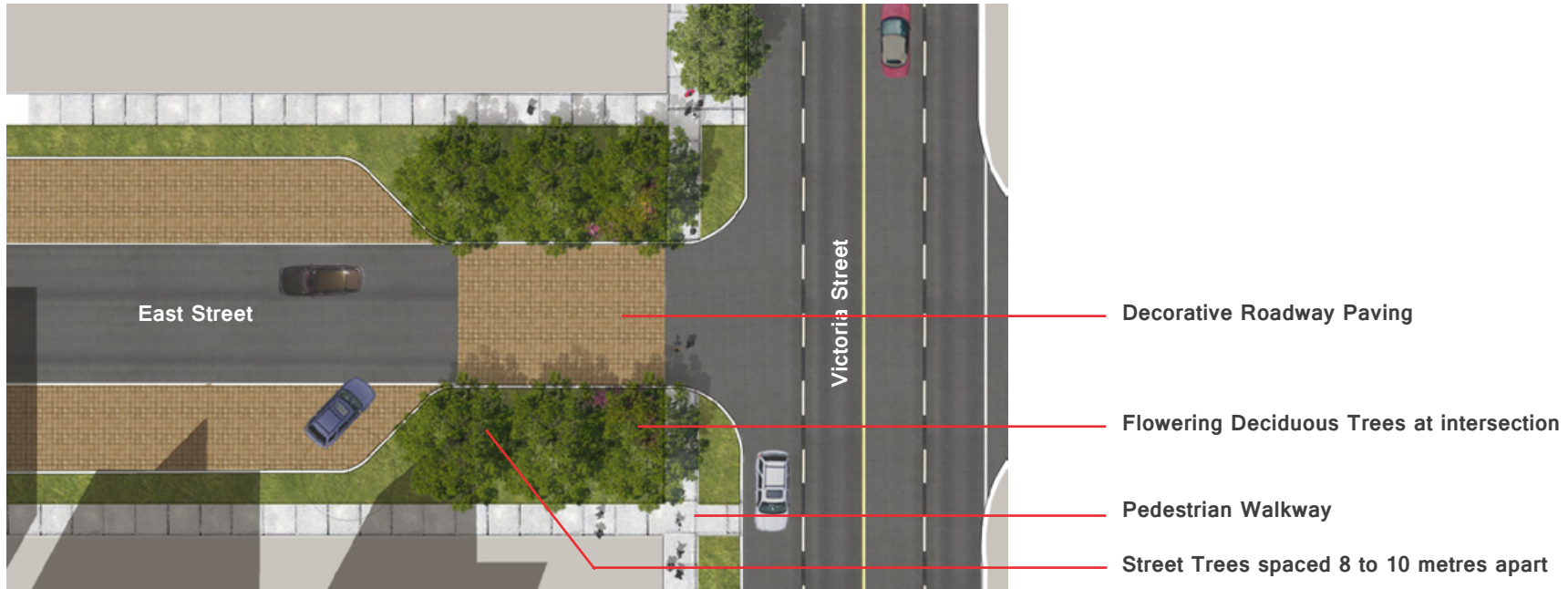
Concept Plan



Elevation

Public Realm Design Guidelines 3.0

East Street Gateway

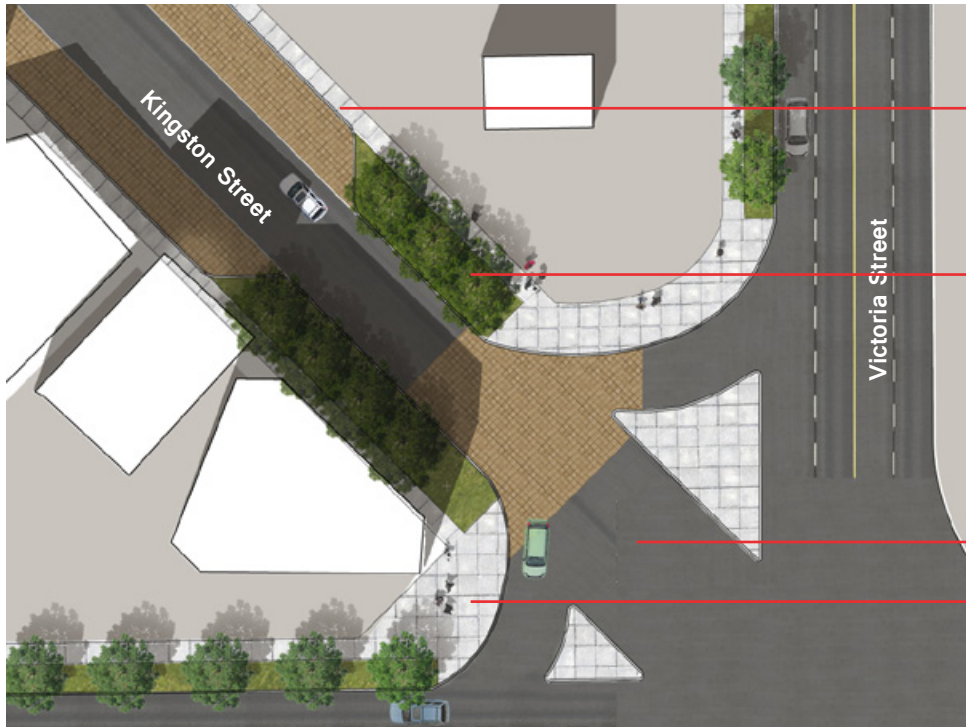


Concept Plan



Elevation

Kingston Street Gateway



Street Trees spaced 8 to 10 metres apart

Flowering Deciduous Trees at intersection

Decorative Roadway Paving

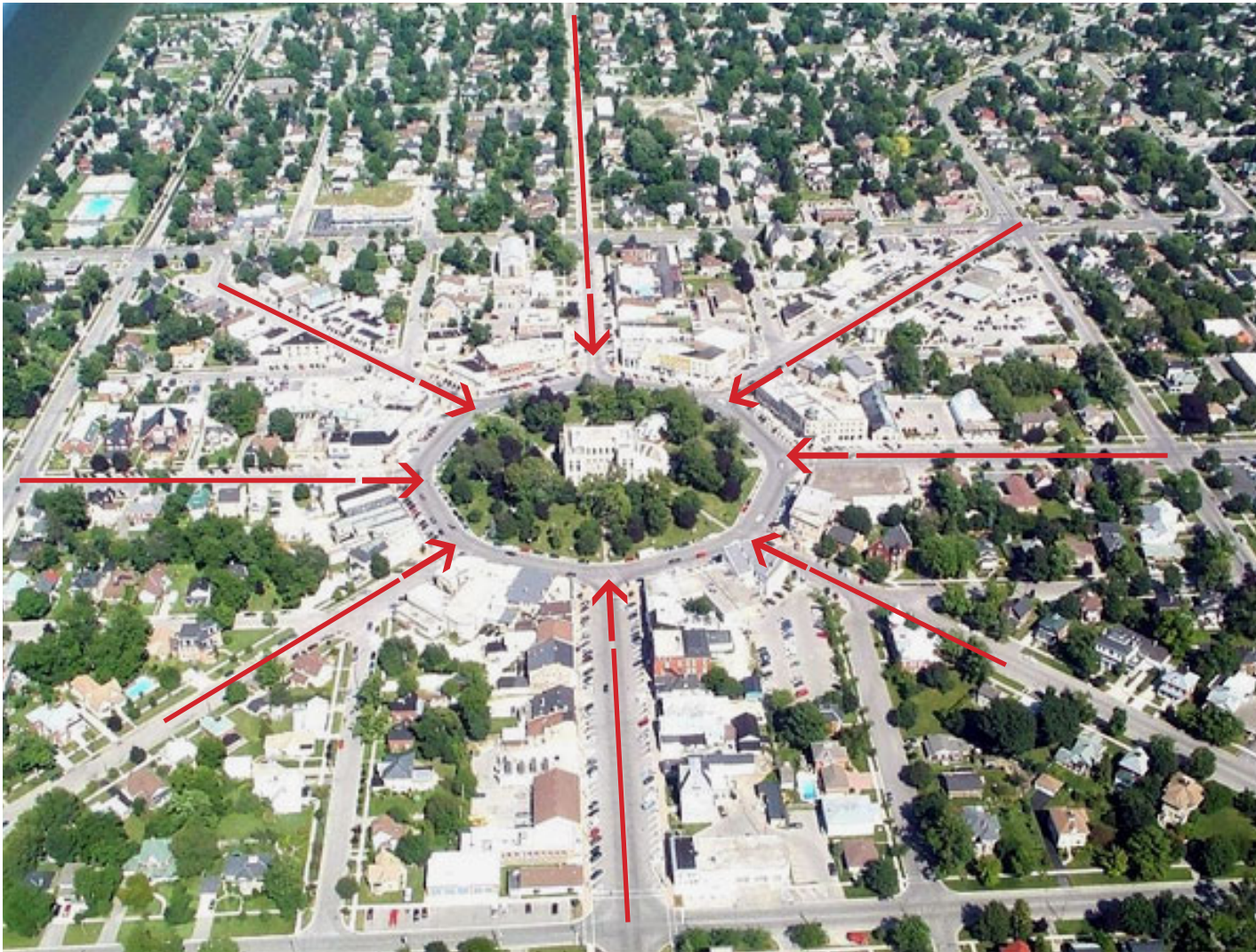
Pedestrian Walkway

Concept Plan



Elevation

Public Realm Design Guidelines 3.0



Viewscales to the Square and Court House Park

3.11 Viewscales

1. The image on this page identifies a number of 'Viewscales'. Council will ensure that these viewscales are protected, achieved and enhanced over time.
2. Any development and/or public works that could impinge upon or negatively impact these viewscales shall be required to demonstrate that the viewscales will be preserved and/or enhanced.
3. Where an identified viewscale is currently blocked by existing development, Council, through the redevelopment process, shall ensure, where possible, that an appropriate viewscale is achieved.

Private Realm Design Guidelines 4.0

The Built Form Strategy envisions a variety of new buildings that contribute to developing the Downtown Core Area as the mixed-use centre of the community within a context that ensures a high quality public realm, sensitive transitions to the surrounding residential uses and compatibility with the existing heritage character.

The distinct identity of Downtown Goderich is linked to its unique street pattern and ‘ring’ of buildings that form the walls of the ‘Square’. Central to the Strategy is maintaining strong edges to the Square and radiating streets, and creating attractive built form that will complement the existing building blocks. Design guidelines for building restoration and new infill within this Strategy follow the guidelines provided in the Square Heritage Conservation District Plan and provide additional detail, as well as illustrations of sample infill proposals.

All new development/redevelopment within the Downtown Core Area shall be based upon, and approved after the careful consideration of the concept of “Compatible Development”. Compatible Development is defined as follow:

“Compatible development is development that is not the same as, nor necessarily similar to existing development in the vicinity. Compatible development is development that enhances the character of the community without causing any undue adverse impacts on adjacent properties in the vicinity.”

The Demonstration Plan on the facing page illustrates one scenario for the long-term build out of Downtown Goderich. It does not make provisions for how or when this build out will occur, but focuses on where and what form development should take. It illustrates a built form strategy that identifies the location and massing of buildings and their relationship to the street. This built form strategy is supported by site-specific demonstration plans and set urban design guidelines that address development on **Infill Sites** and development on existing sites around **The Square**.

To distinguish between new development within the historic context of the core area and other new infill development, this section has been divided to provide guidelines for new development and renovations to buildings that are historic in nature and those that are not.



*Traditional buildings on the Square included weather protection elements
Memories of Goderich, 1977, Dorothy Wallace, Writer and Editor.*



*Historical buildings in Goderich were mixed-use
Goderich, Ontario (no longer exists)*

4.1 General Policies for All Buildings

1. It is crucial that all new development throughout The Project Area be compatible with the character and context of the Area. As such, new development, whether a renovation to an existing building, or a completely new building, will be reviewed by the Heritage Committee, staff and, ultimately, Council. Consideration should be made for exterior design, including the character, scale, colour, building materials, appearance and design features of buildings.
2. Architectural variety is crucial in creating a visually stimulating urban environment. Streetscapes composed of buildings of similar style and form can succeed through subtle variations in the façade treatment and building mass in order to improve the overall architectural richness, variety, and building articulation in the community.
3. New building design shall:
 - be barrier free;
 - have a textured architectural quality that can be achieved by introducing variation in certain elements of the façade treatment. Continuous streets of monotonous and repetitive façades shall be avoided;
 - create a street space that is scaled to the pedestrian and is organized to present an appropriate façade to all adjacent public roads to provide interest and comfort at ground level for pedestrians. Primary pedestrian entrances shall provide direct and universal access to the public sidewalk;



*Architectural variety is crucial in creating a visually stimulating environment
Port Perry, Ontario*

Private Realm Design Guidelines 4.0

- have a dynamic façade that is articulated with three-dimensional elements, such as balconies, bay windows and porches, cornices, window trim, entrances, canopies and the articulation of the building mass;
 - employ architectural details and/or a step-back at the upper storeys that is established in the implementing Zoning By-law;
 - include pedestrian weather and sun protection systems such as awnings, canopies, colonnades, or front porches along the sidewalk edge of important pedestrian roads and adjacent to the urban squares and at entrances to buildings;
 - have any visible mechanical equipment appropriately screened and located in a manner that has a minimal physical and visual impact on public sidewalks and accessible open spaces; and,
 - where feasible, have all transformers and other above ground utilities located within the building, or on private property located away, and/or screened, from public view.
4. In the design of development that includes a cultural heritage resource, the Heritage Committee, staff and ultimately, Council shall:
- encourage the compatible use of significant cultural heritage buildings, while not adversely affecting the character of the building or surrounding area. Significant cultural heritage resources, including buildings and associated landscapes shall be developed in conformity with the Heritage Policies of this Plan.



*Dynamic façade articulated with three-dimensional elements
Orlando, Florida, Baldwin Village*



*Weather and sun protection systems
Perth, Ontario*

4.2 Heritage Design

In general, the original, distinctive qualities and character of a historic building, such as bulkhead details, piers, windows, transoms, entrances, cornices and various facade accessories shall be preserved. The removal or alteration of any historical materials or distinctive features shall be avoided. In instances where removal is required due to damage or deterioration, the materials shall be replaced with the same material or with materials that are compatible and/or complementary to the original design.

Common Principles

1. Treat distinctive stylistic features or examples of skilled craftsmanship with sensitivity;
2. Repair or replace missing architectural features with an accurate duplication of features, substantiated by historic, physical or pictorial evidence, rather than on conjectural design or the availability of different architectural elements for other buildings or structures;
3. Respect changes to a historic building or resource which may have taken place over the course of time and may have acquired significance in their own right. The valid contributions of all periods to a historic building or resource should be respected;
4. New buildings should avoid historical misrepresentation. Buildings tell the story of historical development of the area. It is important that the historical record does not get confused through the mimicry of past architectural styles; and,
5. New buildings should be designed so that they do not appear to have been constructed earlier than they were.



*New buildings should be designed to enrich the historic nature of the existing context
Toronto, Ontario*

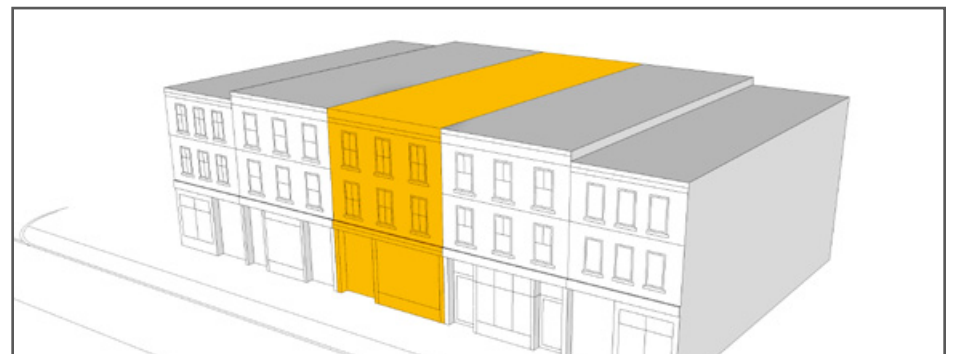


Potential Infill Site

Private Realm Design Guidelines 4.0

Height and Massing

1. New buildings should consider and respect the scale and massing of adjacent buildings reflecting the base, middle and top of those buildings;
2. New buildings should respect the pattern of facade division by ensuring the horizontal and vertical architectural orders are aligned with neighbouring buildings;
3. New buildings should include a cornice that is carefully aligned with neighbouring buildings and of similar proportions;
4. Windows should be vertically aligned from floor-to-floor and horizontally aligned with the neighbouring buildings; and,
5. New buildings should have entries and display windows at regular intervals consistent with the established pattern on the block.



Horizontal and vertical architectural orders should be aligned with neighbouring buildings

Setbacks and Steppbacks

1. New buildings should be located at a distance from the curb equal to that of adjacent buildings; and,
2. Where new buildings or new additions to buildings exceed the height of adjacent buildings, the additional height should be set back behind the prevailing facades a minimum distance of 3 metres to reinforce the street wall height while allowing additional height.



Potential for Three Storey Infill Site



Stepping the building back reinforces the existing street wall in Toronto, Ontario



Stepping the building back in Toronto, Ontario

Private Realm Design Guidelines 4.0

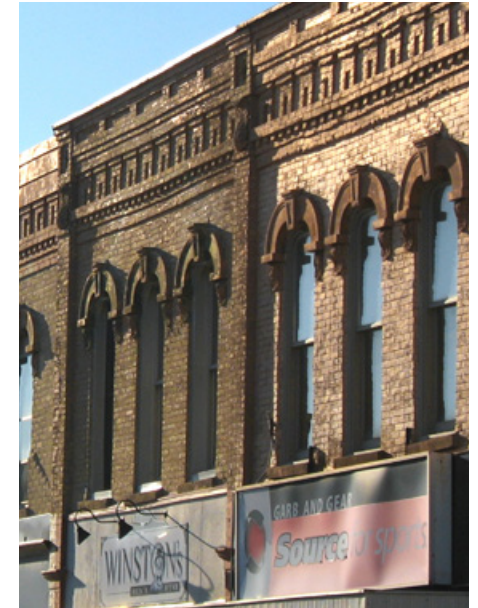
Materials

New development should be mindful of ensuring excellence in architectural design and in the use of high-grade materials, particularly at street-level. A key objective of the Heritage Design Guidelines for Goderich is to achieve a balance between consistencies in design quality and street interface, while enabling individual expression in new developments.

1. New buildings should respect the materials of adjacent buildings and consider the palette of materials and colours evident in nearby existing buildings;
2. Building materials should be chosen for their functional and aesthetic qualities and exterior finishes should exhibit quality of workmanship, sustainability and ease of maintenance. Materials should also be chosen for durability;
3. Key guidelines for architectural and material quality include:
 - Goderich has a rich history of architectural styles, colours, and material quality from which to draw from. New developments should seek to contribute to this mix and variety;
 - building materials recommended for new construction include brick, stone, wood, glass, in-situ concrete and pre-cast concrete;
 - Goderich has a long history of yellow brick and white brick, the first choice should be yellow brick;
 - in general, the appearance of building materials should be true to their nature and should not mimic other materials; and,
 - vinyl siding, plastic, plywood, concrete block, darkly tinted and mirrored glass and metal siding utilizing exposed fasteners should be discouraged.



*Brick and Stone are key materials
Precedent example*



*Precast lintels and surrounds
Goderich, Ontario*



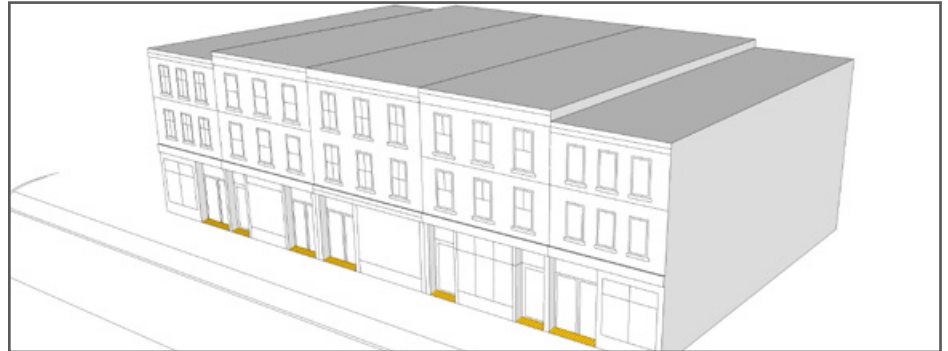
*Traditional Goderich materials emphasise brick as a primary material,
Goderich, Ontario*



Storefronts

Well-proportioned and designed storefronts can contribute positively to the pedestrian environment by providing animation and visual interest at the sidewalk. A defining characteristic of a traditional main street is the mix and variety of storefront styles and types, in addition to the narrow widths and high level of transparency that lends to the vibrancy and animation of the street. Entrances, signage, weather protection and lighting were all elements of successful storefronts in the past. New development should reinforce these characteristics according to the following guidelines.

1. Barrier-free access should be accomplished in a manner that does not impede passage in front of the store. Ramps are encouraged to be incorporated within vestibules or where entries are set back from the storefront;
2. To ensure a strong and attractive visual presence on the street and a high quality retail space at grade level:
 - storefronts should have a high-level of transparency, with a minimum of 75% glazing to maximize visual animation;
 - clear glass should be used for wall openings (e.g., windows and doors) along the street-level façade. Dark tinted, reflective or opaque glazing should be discouraged for storefronts;
 - an identifiable break or gap should be provided between the street-level uses and the upper floors of a building. This break or gap may consist of a change in material, change in fenestration, or with the addition of a cornice line. The identifiable gap or break can emphasize the storefront while adding visual interest and variety to the streetscape; and,
 - storefront entrances should be highly visible and clearly articulated. Entrances should be located at or near grade. Split level, raised or sunken entrances are strongly discouraged.



Barrier-free access can be accomplished using recessed entries



Storefront entrances should be highly visible and clearly articulated



Storefront entrances should be highly visible

Private Realm Design Guidelines 4.0

- on corner sites, storefronts should address both street frontages through entries or glazing;
- storefront signage should be consistent with the signage guidelines (See Section Signage), but generally should add diversity and interest to the street and not overwhelm either the storefront or the streetscape;
- to reflect the existing character and context, storefronts should generally have a frontage that reflects their historic scale;
- weather protection for pedestrians is encouraged through the use of awnings and canopies; and,
- where retail frontages are greater than 8.0 metres, they should articulate narrow storefronts in the design of the facade.



Goderich, Ontario



Toronto, Ontario



*Storefronts should have a high-level of transparency
Goderich, Ontario*



*Barrier-free access and weather protection can be accomplished using recessed entries
Paris, France*

Doors and Doorways

1. Doors and doorways should be designed to reflect the scale and character of those traditionally found in Goderich;
2. Traditional doorway surrounds should be incorporated into the facades of buildings including sidelights, clear transoms and vision panels.

Windows

1. Where a new building is being proposed, the selection of windows should be undertaken in a manner that the materials and surrounds are in harmony with adjacent buildings;
2. If the design is contemporary, the scale should be in proportion to the windows on adjacent buildings;
3. Where a historic building is being restored the selection of windows the materials and surrounds should be based on those of the original building;
4. The type of window (double hung etc.) and the resulting profile should reflect that of the original building.



Windows materials and surroundings should be based on those of the original building Goderich, Ontario



Doors and doorways should reflect the scale and character of Goderich, Ontario



Toronto, Ontario



The scale should be in proportion to the windows on adjacent buildings Washington DC, USA



Toronto, Ontario

Private Realm Design Guidelines 4.0

Signage

Signage plays an important role in the overall image of any area. Signs should contribute to the quality of individual buildings and the overall streetscape, and should reflect the unique characteristic of their context. This includes compatibility with existing buildings, where appropriate. High quality, imaginative, and innovative signs are also encouraged. Commercial storefront signage should be subject to the following guidelines:

1. Sign Placement
 - Signs should be placed in a consistent location on all building facades. Generally, it should be located above the storefront windows or on canopies over the storefront;
 - Signage should not obscure windows, cornices or other architectural elements;
 - To minimize visual clutter, signage should be integrated into the design of building façades wherever possible, through placement within architectural bays and friezes; and,
 - Signage on character buildings should be consistent with traditional sign placement such as on a sign band, window lettering, or within the existing architectural orders.
2. Sign Types
 - Large freestanding signs (such as pylons), roof signs, and large-scale advertising (such as billboards) are discouraged;
 - Projecting/hanging signs should be permitted to encroach over the streetline provided that they do not project more than 1.0m from the building, and they have a minimum 2.4m clearance between the bottom of the sign and grade;
 - Moveable signs like sandwich boards should have two sign faces, and be located in front of the associated business on private property where possible, but are permitted to encroach onto public property provided that they provide a 1.5m of unobstructed sidewalk space.



Projecting signs add character Savannah, Georgia



Signage should not obscure window Boston, MA



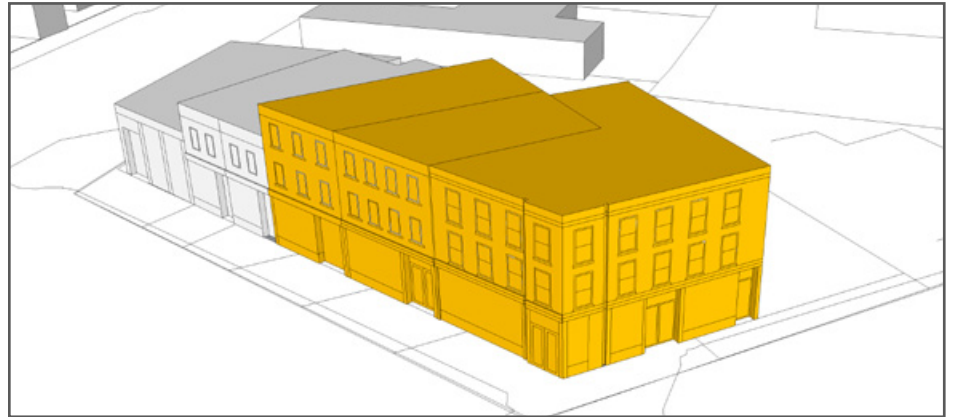
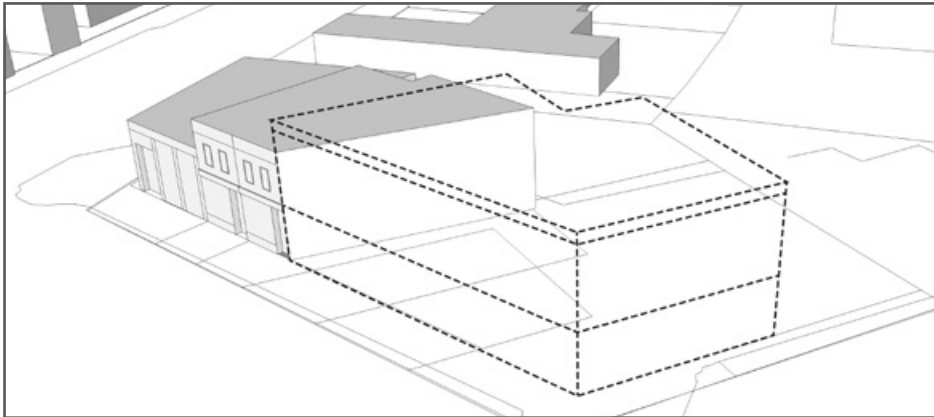
Sign placement within architectural bays and friezes. Boston, MA



4.3 East Block (Demonstration Plan)

The East Block (Kingston Block) is an important component of the square and should be developed in a manner that reinforces the built form of the predominant street edge surrounding the square. In principle it is a corner infill building and should reflect the guidelines for both building types.

1. The East Block contains several existing buildings that will provide the basis for the scale and massing of any new additions to the block including the following;
 - new additions should reflect the base, middle and top building components of the existing buildings on the block;
 - the treatment of the façade on the square should continue the corner for the full extent of the building(s);
 - the massing of the building should be similar on both faces of the new addition at the corner;
2. A separate design study specific to this block will be prepared by Taylor Hazell Architects



Private Realm Design Guidelines 4.0

- include prominent visual and vertical architectural features such as a wrap-around porch, bay window, turret feature or a clock tower, and/or an additional storey, greater than abutting buildings on non-corner sites;
- a corner building should have primary, articulated façades towards both streets;



*A corner building should provide prominent visual and vertical architectural features and articulated façades towards both streets
Boulder, Colorado*



*The treatment of the facade should address both street frontages.
Traditionally corner buildings in Goderich have done this (See image to right)
Minneapolis, MN (See image to left)*

- storefront entrances should be highly visible and clearly articulated. Entrances should be located at or near grade. Split level, raised or sunken entrances are strongly discouraged; and,
- a corner building should have the highest level of architectural detailing and a distinct architectural appearance.



Store entrances should be clearly visible; Traditionally Goderich corner buildings have a high level of architectural detail

Perth, Ontario



London, Ontario

Private Realm Design Guidelines 4.0

4.4 New Infill Development

All new development within the Downtown Core and around The Square is, by definition, infill development. As a result, a key consideration for new development is the relationship to existing buildings. The existing buildings of heritage value set the tone for the architecture of the core of Goderich. The following principles help to assure that new infill development adds to the character and context of the Town.

Design Policies for the Location of Buildings on a Lot (Demonstration Plans)

New buildings on lots outside of The Square, but within the core area, will act to complete the streetscape and reinforce the street edge conditions. Where new development abuts a street the principles for infill lots will apply including:

1. Lot Frontage and Lot Coverage
 - frontages, building coverage can exceed that of adjacent buildings when the additional building area meets the criteria for building massing.



Aerial View Demonstration Model

2. Setbacks

- in order to ensure development compatibility within The Project Area, Council shall establish appropriate interior side and rear yard setbacks in the implementing Zoning By-law;
- generally the front yard setback of a new building will reflect the setbacks of buildings on adjacent sites;
- where the setbacks of existing buildings are greater than 5 metres, the front yard setback of new buildings will be a maximum of 5 metres;
- side yard and rear yard setbacks should be developed in keeping with the historic configuration of buildings along common streets; and
- side yard setbacks may be minimized to generate continuous street wall.



Private Realm Design Guidelines 4.0

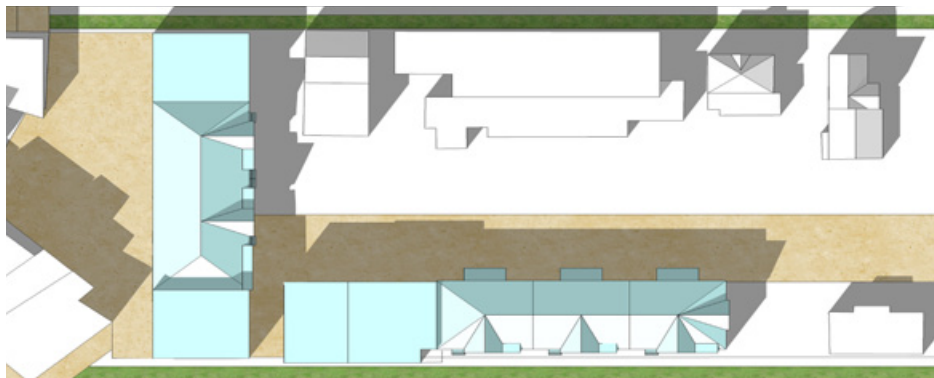


Typical Infill Site Demonstration Plan

4.5 Build Within Zones and Built Frontage

The unique nature of the existing built form in Goderich requires that new buildings be designed that respond to the context.

1. New buildings should be designed to occupy the highest portion of the street frontage as is possible to establish a continuous street wall condition;
2. Within The Residential Quadrant and The Downtown Area, a relatively consistent building edge is important to provide spatial definition and containment to the street. The front and exterior side walls of buildings should be located within a defined zone on the lot. The build-within zones essentially set both a minimum and maximum setback;
3. It is understood that, where a lot has three or four sides abutting a public road, the identified minimum built frontage requirement may not be achieved on all sides. Council shall use its discretion in the application of the street wall concept on development blocks that have street frontage on more than two sides;



A consistent building edge defining the street edge

4.6 Encroachments

It is an objective of Council to ensure a comfortable pedestrian environment, and part of that comfort is weather protection. As a result, it is important to promote the provision of building elements that provide shade and/or shelter from the rain through permissions for encroachments into the pedestrian realm. In addition, it is an objective of Council to promote street activity/animation. Street cafes and outdoor seating for restaurants should also be considered. Council will encourage the following:

1. Awnings or canopies may be permitted to encroach into the public pedestrian realm subject to approval from Council;
2. Outdoor cafes and seating for restaurants may be permitted to encroach into the public pedestrian realm subject to approval from Council;
3. semi-permanent structures over the sidewalk, including entry features, arcades and perpendicular signage and/or lighting fixtures attached to the building may be permitted to encroach into the public pedestrian realm subject to approval from Council; and,
4. Permanent structural components of the building (colonnades and balconies) are not permitted to encroach into the defined public pedestrian realm.

Private Realm Design Guidelines 4.0



Aerial View of Demonstration Model Showing the Potential Infill Sites

5.1 Formula for Success

Ongoing change is a positive sign of a healthy community. In order for the Town of Goderich to continue to be successful – economically, aesthetically and in terms of quality of life – a Downtown Core that includes and supports businesses, administration, culture, social activities and community events, with a focus on pedestrians, must be promoted and, more importantly, achieved.

Variety of Tools to Achieve Success

There are a variety of tools that have been used to help stimulate Downtown redevelopment. Across North America, various levels of government have used a vast array of planning, financial and other tools to facilitate the desired mixed-use, pedestrian-friendly environments. However, success is usually a result of a combination of tools and circumstances, as opposed to one critical action. Typically, government intervention beyond infrastructure investment and mandating including building programs, incentives and permissive planning policy regimes, for example, is seen as a key development catalyst that can influence private sector investment decisions.

Change Takes Time

Despite the significant and life-altering change that has already occurred in the community, changing an established Downtown Core takes time and will occur incrementally. It is not anticipated that wholesale changes to the Downtown Core and consumer lifestyle can occur overnight in Goderich.

Cooperation and Commitment are Required

Lastly, it is critical that all appropriate private sector initiatives within the Downtown Core be supported by a reciprocal commitment between the Town and other public agencies to create components of the road system, the pedestrian realm, public buildings and infrastructure. The improvements to the pedestrian

realm and public infrastructure must be developed in coordination with private sector investment.

Three Actions to Stimulate Change

Previous sections of this Master Plan Report have identified an overall Vision for the Downtown Core, and have provided guidance on facilitating public realm and built form development. Experience in other jurisdictions across North America, combined with observations in the Town of Goderich, suggests that a strategy for the successful implementation of the Vision for the Downtown Core requires that the Town focus their activities into three basic categories. The Town must:

1. Create a Long-Term Vision
 - Identify Public Realm Improvements
 - Articulate Objectives for Private Sector Development
 - Strategy to Facilitate Improvements
2. Establish the Environment for Change
 - Codify the Vision through the Official Plan
 - Identify and Prioritize Public Realm Improvements
 - Include these in the Capital Improvements Plan
 - Develop a Marketing and Branding Strategy
3. Reduce the Risk / Cost of Development
 - Review and Update Community Improvement Plan
 - Refine the Regulations in the Zoning By-law
 - Expedite the Approvals Process

All three of these actions are completely interrelated and are required, in collaboration, to establish a comprehensive, and ultimately a successful transformation of the Downtown Core from its pre-tornado and current state to a vibrant mixed-use centre.

Implementation Strategy 5.0



Implementation Diagram

5.2 Action Plan

The following implementation recommendations are crucial actions the Town should consider in order to ensure the Downtown Core Area Master Plan and Court House Park Design are achieved. These interrelated recommendations provide concrete directions designed to facilitate public realm and infrastructure improvements and to foster private sector development. While the application of individual recommendations may achieve some of the intended results, the long-term success of the Downtown Core Area will require adoption of all these recommendations.

The implementation recommendations include administrative changes and suggestions for amendments to planning procedures and statutory planning policies for the Town of Goderich. The recommendations also include direction for both public sector investment and private sector development.



Establish an Oversight Committee to Implement this Plan

This Plan was developed through a collaborative process involving the project steering committee, input and feedback from the community and various stakeholders. The recommendations put forth represent their collective vision for the Downtown Core and Court House Park. In order to ensure the successful implementation of this Vision as well as the continued engagement of stakeholders, a project oversight committee that is dedicated solely to the realization of this plan should be established. The Oversight Committee could include members of staff, stakeholder groups and community groups.

List of Recommendations:

- Champion for Change
- Committee of Staff that Reports to Council
- Involve BIA and Chamber of Commerce
- Hold Public Update Sessions at Key Milestones



Implement the Public Realm Plan to Repair Damage and Improve the Community's Core Area

As the historic, cultural, social, administrative and economic centre of Goderich, The Square, including Court House Park, symbolize the heart of the community. Repairing the damage left by the tornado, and implementing the design recommendations of this Master Plan report represents a crucial step in the re-building process. If implemented successfully, it is hoped that these changes will spur other improvements in the Downtown Core, both public and private.

List of Recommendations:

- Focus Investment on Court House Park and The Square as the First Priority
- Undertake Detail Design for Court House Park
- Establish Court House Park 'Manifesto' as the Policy of Council
- Implement Improvements for Streetscapes and Gateways
- Work with BIA and Service Clubs to Identify Funding for Specific Projects
- Work with County, Province and Federal Government to identify Funding Sources



Update Planning Policy to Facilitate Compatible Development

As The Town of Goderich Planning Department should work with Town Staff and other professionals to update the Official Plan and Zoning By-laws to ensure that they reflect the new direction of development and the revised Vision for the Town.

List of Recommendations:

- Amend the Official Plan (OP) in accordance with the directives included in this Master Plan
- Update the Community Improvement Plan (CIP) and Incentive Programs by expanding the programs and resources available for private sector property encroachments
- Update Zoning By-law to conform and expand upon the new planning regime provided in the updated Official Plan
- Create Site plan Guidelines Manual that is reflective of the detailed design objectives of the Municipality
- Create Architectural Guidelines that are reflective of appropriate heritage conservation principles
- Update Heritage Conservation District Plans to support the new planning and design regime



The **Planning** Partnership 

Appendix E –

Guidelines from Understanding
Commercial Blocks in Goderich

UNDERSTANDING COMMERCIAL BLOCKS IN GODERICH

INTRODUCTION

In architectural terms, the type of buildings around the perimeter of The Square and along West Street in Goderich are called “commercial blocks”. The term “commercial block” refers to an individual building. The term “commercial block” does not refer to each retail store nor does it refer to buildings as a group stretching from one street corner to the next.

This report concentrates on the architectural styles of **commercial blocks** built before 1950 in the Heritage Districts of The Square and West Street in Goderich, Ontario.

There are about twelve identifiable architectural styles within the Victorian period. Almost all of the **commercial blocks** in the Heritage Districts of Goderich can be categorized into three of these Victorian styles: Georgian, Italianate and Second Empire.

This report illustrates how the Georgian, Italianate and Second Empire styles were executed on **commercial blocks** in Goderich.

This report also illustrates how the various parts of these styles of buildings have been fitted together to form the entire façade which faces the street.

Over time various original stylistic elements have been removed or altered inappropriately. Alterations have watered down, blurred, and set up confusion as to how the various architectural elements of these **commercial blocks** were originally designed. The relationship of the original architecture and the inappropriate changes have resulted in a disjointed array of elements which have diminished the character for which these Heritage Districts were established.

In order to respect the original architectural character of a **commercial block** all parts of the façade are to be taken into consideration. The architectural context of The Square and West Street will be maintained if good stewardship addresses all parts of these **commercial block** buildings.

It is hoped that this report will help people understand the original composition of architectural design involved in creating the historic Georgian, Italianate and Second Empire styles of **commercial blocks**.

It is also hoped that this report will help people undertake repairs, modifications, renovations, restorations and additions which will appropriately maintain the original historic context of The Square and West Street.

The information within this report will help to maintain and conserve the architecture of The Square and West Street. In doing this the historic characteristics of Goderich's core area can be re-established which in turn will create a distinctive and unique retail environment. If municipal civic pride and retail prowess are made to work together, then The Square and West Street will be an area that local people and visitors will want to return to.

A STYLISTIC RELATIONSHIP OF THREES

The architectural style of a commercial block can be expressed in relationships of “three” when analysing how the whole building relates to its various parts and how the parts relate back to the whole.

There are about twelve separate identifiable architectural styles within the Victorian period. Almost all of the commercial blocks in Goderich can be categorized into three of these Victorian architectural styles, Georgian, Italianate and Second Empire.

The overall massing, the storefront frame and storefront are the three major components which combine to form the architectural character of each commercial block. If the relationship between plan and section occurs, then the overall composition of the commercial block façade will remain true to its architectural style regardless of its origin.

Whether restoring or modifying an existing commercial block façade or creating a new commercial block façade, remember that the major components and each of their parts work together in “a stylistic relationship of threes” to create the architectural style of any given commercial block.

The **architectural context** of The Square and West Street has three Victorian styles:

1. Georgian
2. Italianate
3. Second Empire

The **façade** has three major components:

1. Massing and Roof
2. Storefront Frames, Pilasters and Cornices
3. Storefronts, Windows and Openings

The **massing** has three parts:

1. Top Cornice or the Roof
2. Upper Storeys
3. Main Floor

The **storefront frames** can be divided into two groups of three parts:

The **columns and pilasters** have:

1. Capital & Bracket (decorative top part)
2. Shaft (main part of column)
3. Base (visible bottom part)

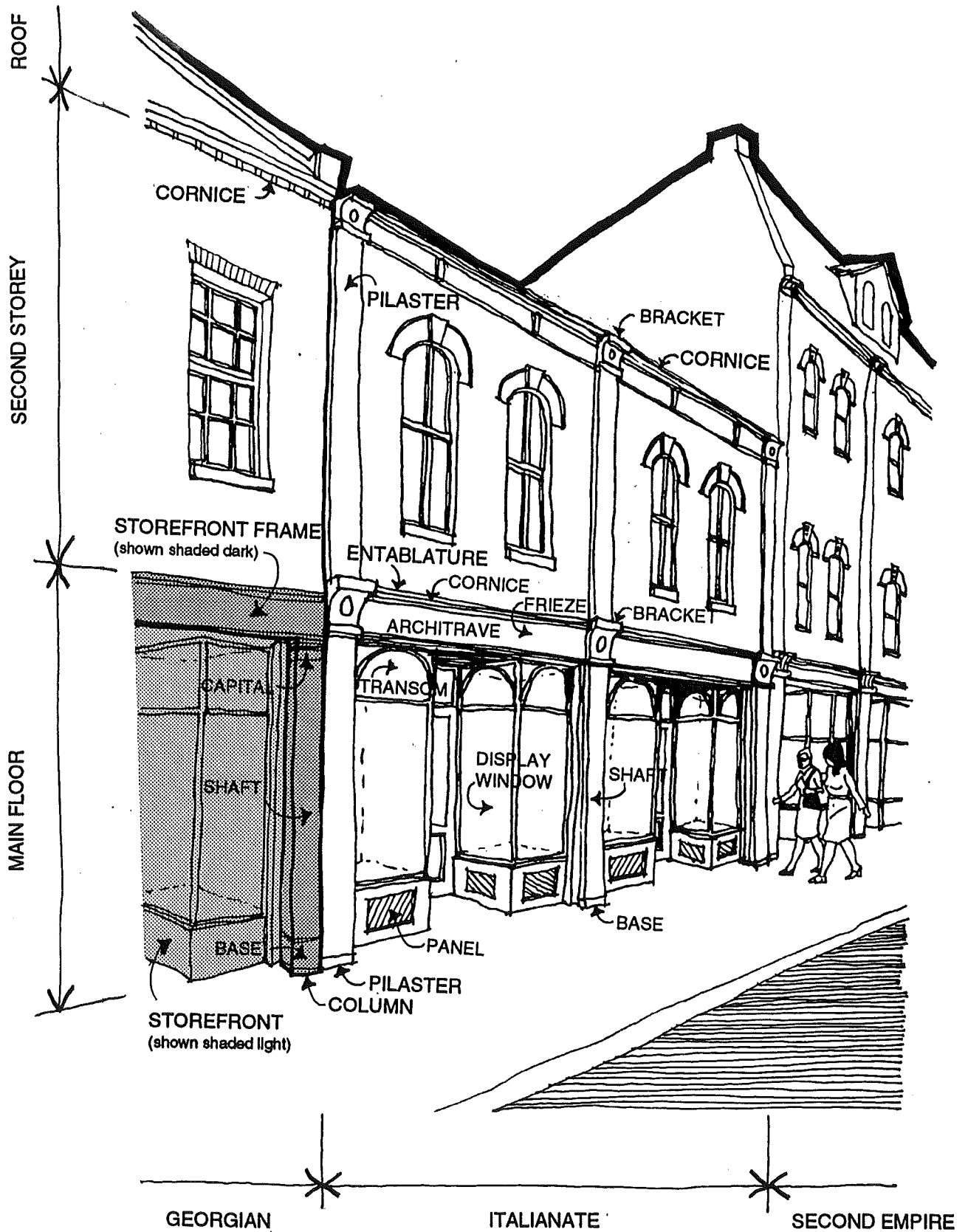
The **entablature** has:

1. Cornice (large moulding across top)
2. Frieze (flat surface in middle)
(the frieze is often called the signband)
3. Architrave (small moulding across bottom)

The **storefront** has three parts:

1. Transom Windows
2. Display Windows
3. Lower Panels

A STYLISTIC RELATIONSHIP OF THREES



GEORGIAN STYLE COMMERCIAL BLOCKS

"plain and well proportioned under a gabled roof"

DESCRIPTION

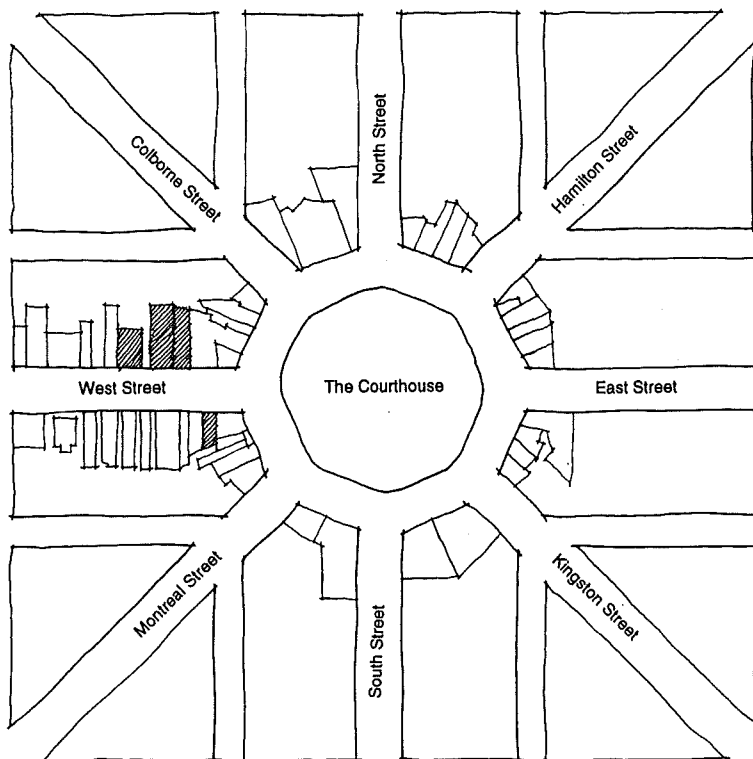
Brought over by the British and the United Empire Loyalists, the **Georgian** style refers to the period of the combined rule of the four King Georges, 1714-1830 and is derived from Palladian Classicism and English Renaissance styles. **Georgian** commercial blocks are known for their plainness, extremely good proportions, and their medium sloped gable roof.

At one point in Goderich's history, the dominant architectural style of Goderich's main and residential streets was **Georgian**. This is due to the fact that Goderich was established earlier than other towns in Huron County. Local examples of **Georgian** buildings include houses, banks, hotels and commercial blocks. However, because most were built from wood, they often succumbed to fire and were replaced by sturdier brick buildings of other architectural styles. Only a few **Georgian** brick and frame buildings remain in Goderich.

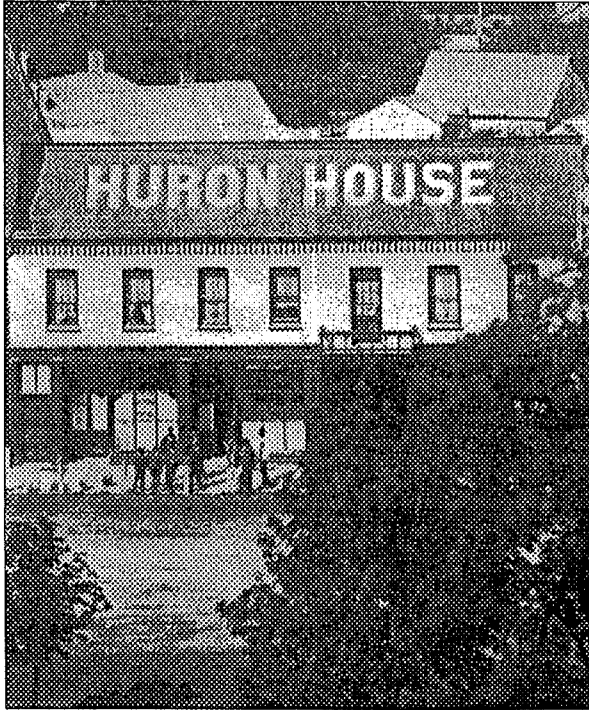
The **Georgian** style should not be confused with Neo-Classical style which has more classical detailing with eave returns, and applied classical pilasters. Local examples of these two styles can be seen at the top of the Harbour Hill on West Street; The Park House, is originally **Georgian** in style, while across the road Hands Bakery, is Neo-Classical in style.

The four surviving Georgian Style Commercial Blocks are located on West Street at the following addresses:

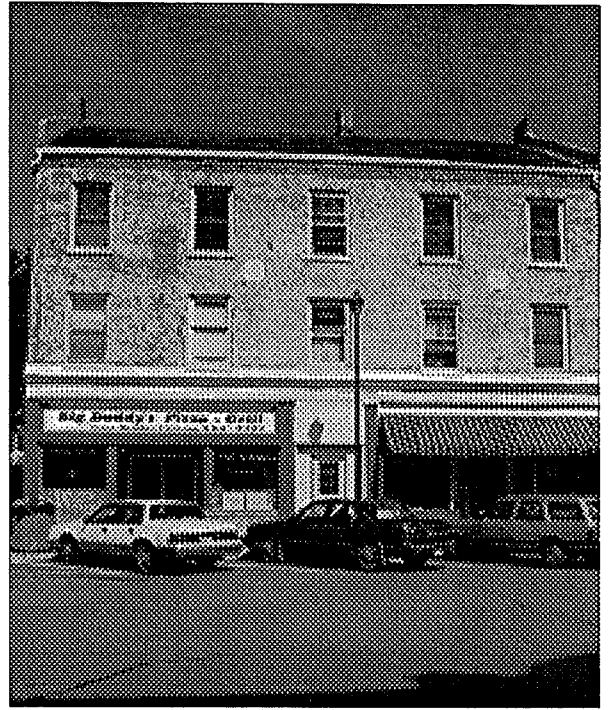
- 31 West Street
- 36, 38 West Street
- 40, 42 West Street
- 46 - 48 West Street



GEORGIAN STYLE COMMERCIAL BLOCKS



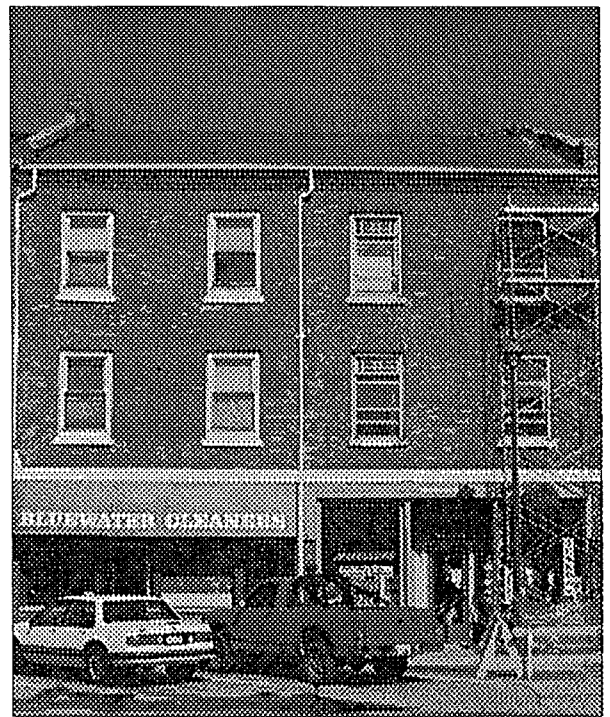
52, 54 The Square (demolished)



40 West Street



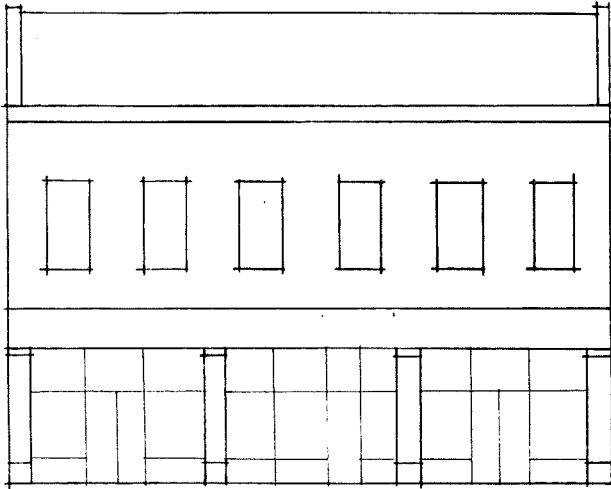
166, 168 The Square (original façade)



36, 38 West Street

GEOMETRIC ANALYSIS OF THE GEORGIAN STYLE

This visual analysis subdivides the front façades of the buildings into the categories of Façade, Massing and Roof, Storefront Frames, Pilasters and Cornices, and Storefronts, Windows and Openings which explain how all of the various components are related to each other and how they group themselves together to form the geometric patterns we see every day.



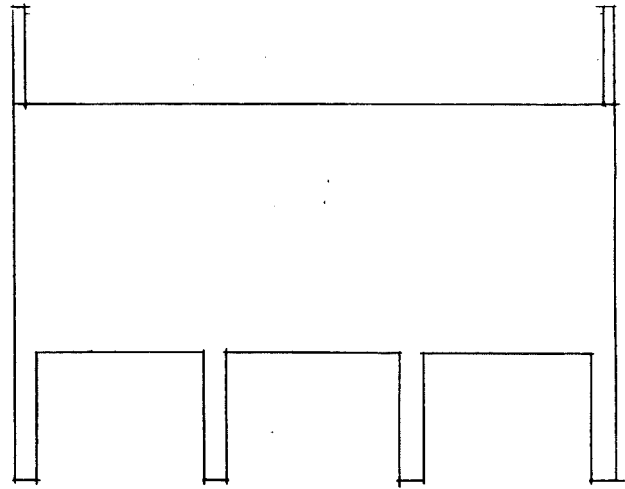
FAÇADE

The **Georgian** style consists of simple balance, uniformity, plainness and an overall horizontal emphasis.

The façade is composed of a series of horizontal layers where each layer visually sits on top of the one below it:

- a row of pilasters on the main floor holds up the entablature
- the entablature holds up the unarticulated plain upper floors
- an upper cornice holds up the gable roof

Originally these buildings were of wood frame construction; later being constructed of load-bearing brick.



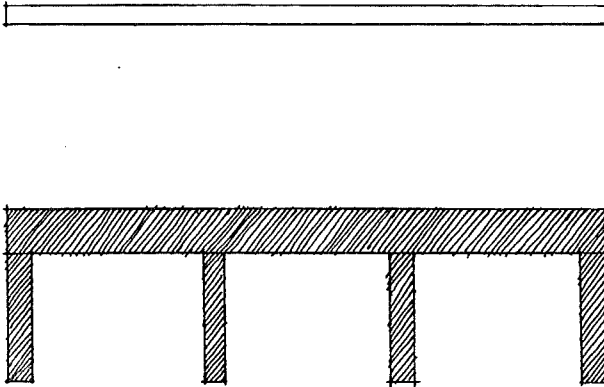
MASSING and ROOF

The massing of the **Georgian** Style consists of:

- a two or three storey brick building
- large openings on the main floor for two or three storefronts per building with the ends of the brick walls separating each store and being visible between each storefront.
- extended brick gable ends flanking a visible sloped gable roof. These extended brick gable ends are firewalls.

GEOMETRIC ANALYSIS OF THE GEORGIAN STYLE

When trying to identify each style, determine how many of the original components are still in place and how many are missing. This will indicate how true the existing façade is to its original architectural character and what components may need work in order to renovate the commercial block to be more in keeping with its original character.



STOREFRONT FRAMES, PILASTERS and CORNICES

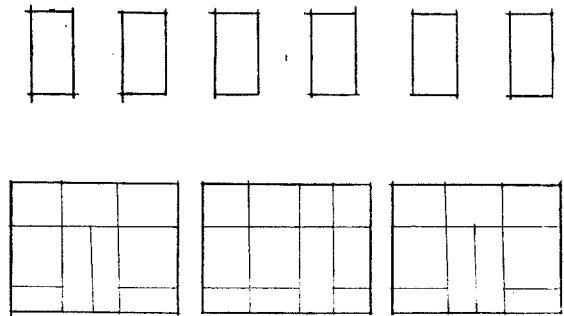
The **Georgian** style storefront frame (shown shaded) consists of:

- a series of columns which hold up an entablature or cornice band in a simple post and beam relationship.

The upper floors have:

- flat unarticulated walls with no vertical pilasters.
- a simple, small and thin corbelled brick cornice below the roof overhang.

The storefront frames and upper cornices project forward into the street from the masonry mass of the building.



STOREFRONTS, WINDOWS and OPENINGS

The **Georgian** style storefront usually comprises:

- two or three openings per commercial block.
- an opening stretching from column to column and from sidewalk to underside of the entablature over the main floor.

Storefronts were originally framed in wood, and contained doors, transoms, display windows and wood panels.

Storefronts were always recessed inward from the masonry mass away from the street.

Windows on the upper levels:

- were double hung originally divided in small equal panes forming 12 over 12, 9 over 9, or 6 over 6 patterns.
- were proportionally twice as high as they were wide.
- occur in evenly spaced single rectangular openings topped with plain segmented flat brick arches.

ITALIANATE STYLE COMMERCIAL BLOCKS

"elaborate and bracketed under the sky"

The sixteen surviving Italianate Style Commercial Blocks are located around The Square and on West Street at the following addresses:

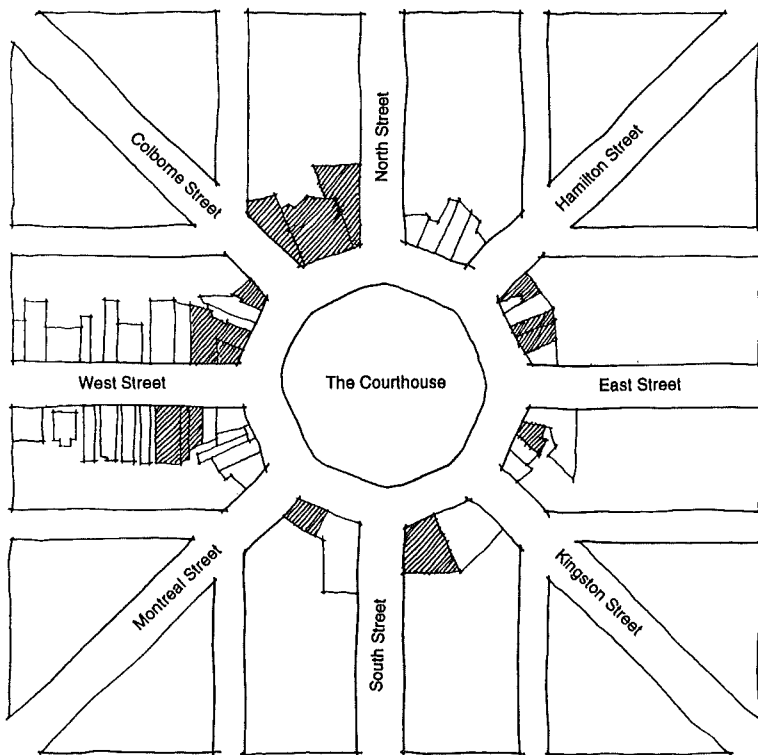
- 2, The Square
- 4, 8, 10, 14, 16 The Square
- 18 The Square
- 24 The Square
- 34, 36 The Square
- 40 The Square
- 68, 70, 72, 74, 76 The Square
- 92, 94 The Square
- 122, 124 The Square
- 140, 142 The Square
- 150 The Square
- 32, 34 West Street
- 33 West Street
- 35 West Street
- 37, 39, 41 West Street

DESCRIPTION

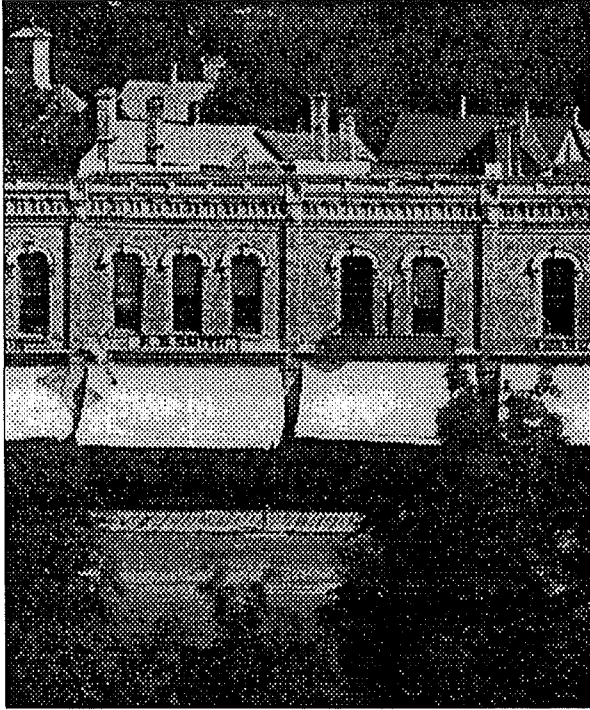
The **Italianate** style was popular in Ontario from the 1830's until the end of the 19th century. Although its actual origins are unclear, the style was influenced by the Renaissance architecture of Italy and was adapted to Victorian taste. The imposing features of **Italianate** commercial block buildings are their very elaborate, oversized and bracketed entablature and cornices.

Italianate buildings gained immediate popularity and have endured because they were constructed of brick, a more lasting material than the wood of previous Georgian buildings. Goderich has many examples of **Italianate** commercial block buildings although they are less elaborate than those found in other towns around this area.

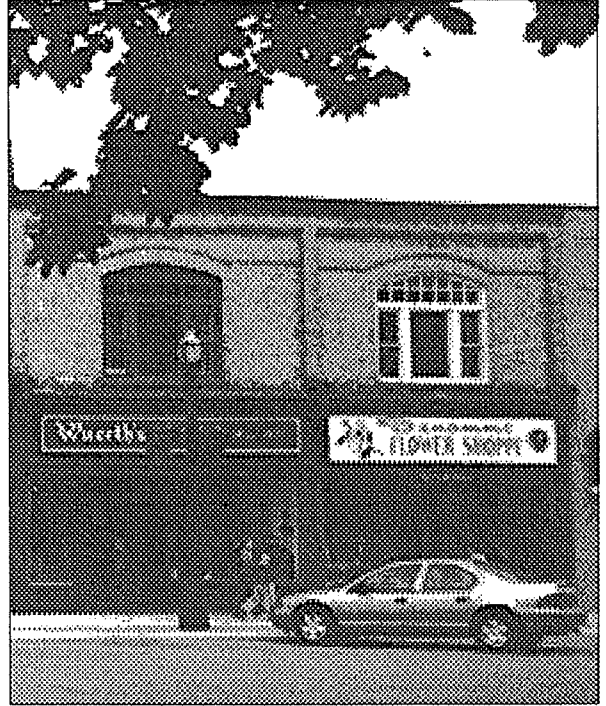
The **Italianate** can easily be confused with the Second Empire style. Although the two styles are similar, the main difference with **Italianate** style is the appearance of a flat roof top (the roof itself is not visible from the front), while the Second Empire style has a very visible, steeply pitched mansard roof forming the third or fourth floor of a commercial block.



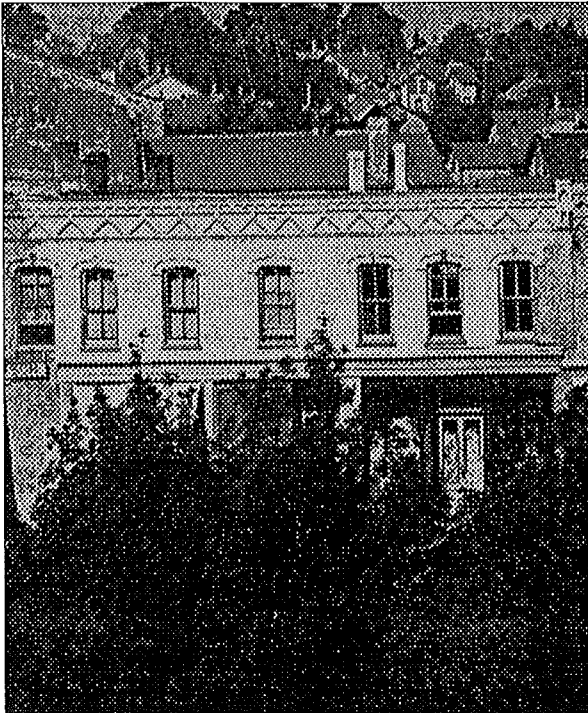
ITALIANATE STYLE COMMERCIAL BLOCKS



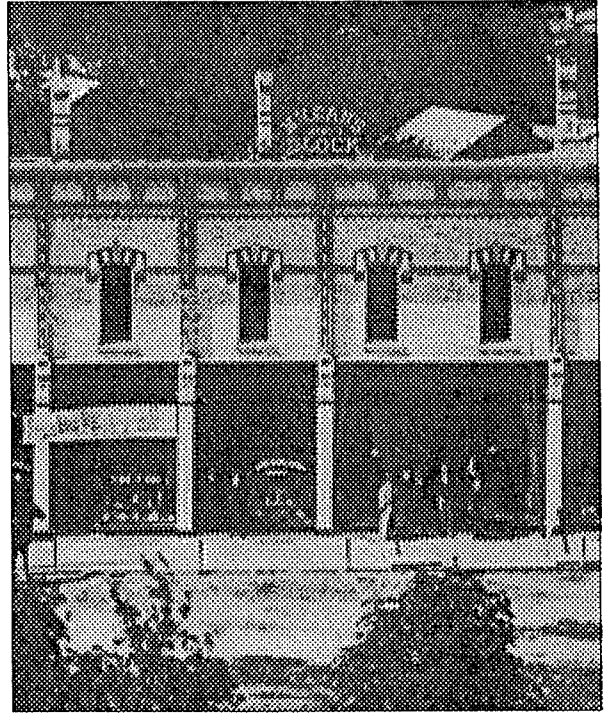
4, 8, 10, 12, 14, 16 The Square



140, 142 The Square



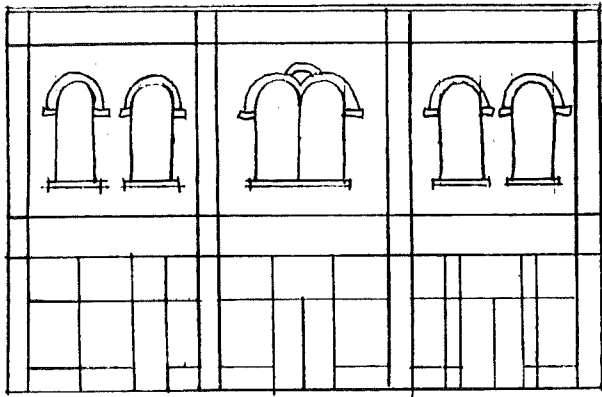
68, 70, 72, 74, 76 The Square



36 The Square

GEOMETRIC ANALYSIS OF THE ITALIANATE STYLE

This visual analysis subdivides the front façades of the buildings into the categories of Façade, Massing and Roof, Storefront, Pilasters and Cornices and Storefronts, Windows and Openings which explain how all of the various components are related to each other and how they group themselves together to form the geometric patterns we see every day.



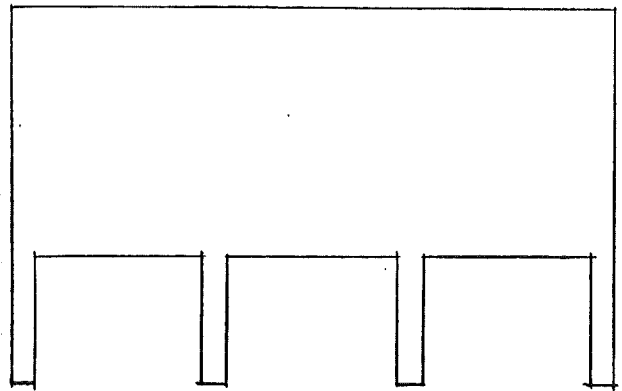
FAÇADE

The **Italianate** style consists of rhythmic uniformity, elaborate detailing and combined horizontal and vertical emphasis.

The façade is composed of a pattern of intersecting vertical and horizontal frames:

- vertical brick pilasters extend from the street up to the eaves.
- horizontal entablatures and cornices cross over the vertical pilasters.
- at each crossover or intersection of horizontal cornices and vertical pilasters a decorative bracket usually occurs.

Because no part of the roof extends above the top of the front wall, the façade appears flat-topped.



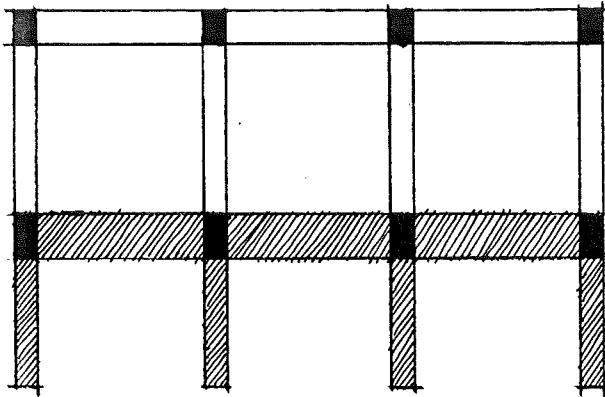
MASSING and ROOF

The massing of the **Italianate** style consists of:

- a two or three storey brick building
- large openings for two or three storefronts per building with the ends of the brick walls which separate each store visible between each storefront
- a more horizontal outline is created due to the lack of a visible roof

GEOMETRIC ANALYSIS OF THE ITALIANATE STYLE

When trying to identify each style, determine how many of the original components are still in place and how many are missing. This will indicate how true the existing façade is to its original architectural character and what components may need work in order to renovate the commercial block to be more in keeping with its original character.



STOREFRONT FRAMES, PILASTERS and CORNICES

The **Italianate** style storefront frame (shown shaded) consists of:

- a series of pilasters extending upward from the street to a brackets (shown black) at the points of intersection with the horizontal entablature.

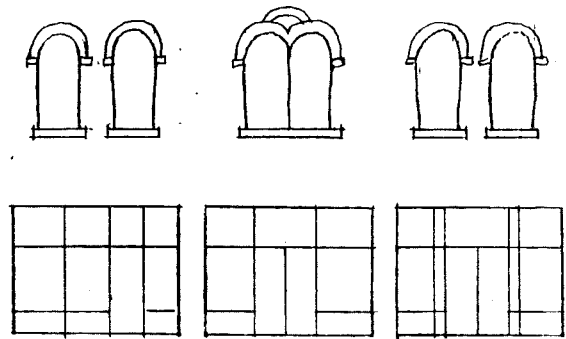
Historically the storefront frame almost always consisted of wood pilasters, entablatures and brackets applied out over the brick.

The brick pilasters:

- continue upward to a single or paired bracket at the point of intersection with the upper cornice or cornices at various floor levels.

Historically, the upper cornices and upper brackets were made from stone, wood, pressed metal or elaborate corbelled brickwork.

The storefront frames, pilasters and cornices all project forward into the street from the masonry mass of the building.



STOREFRONTS, WINDOWS and OPENINGS

The **Italianate** style storefront usually comprises:

- two or three storefront openings per commercial block.
- an opening extending from column to column and street to the underside of entablature or cornice on the main level.

Storefronts were originally constructed of wood and contained doors, transoms, display windows and wood panels.

Storefronts always recess inward from the masonry mass away from the street.

Windows on the upper levels:

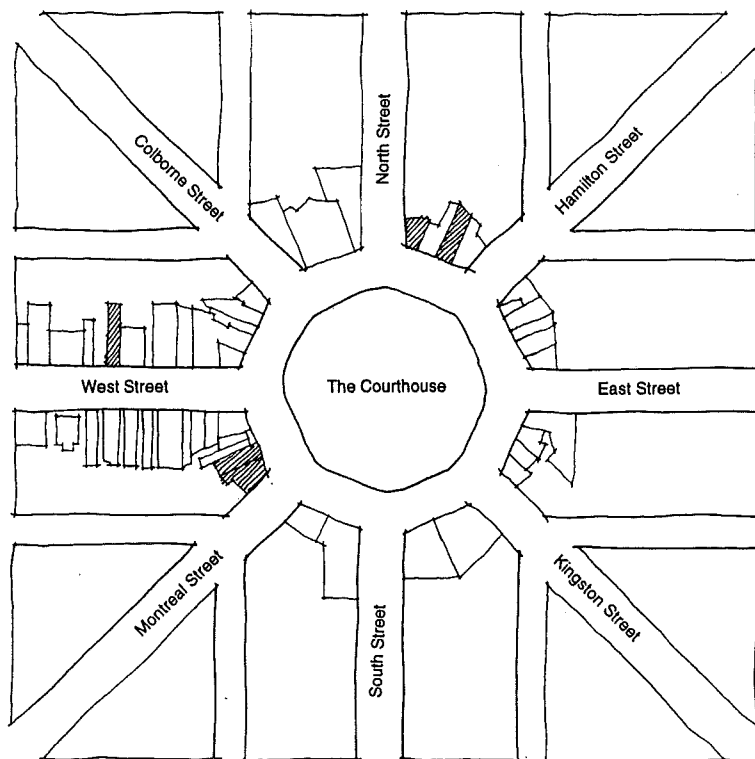
- occur in regular or grouped patterns across the façade or are placed symmetrically about various centerlines along the building's façade.
- have round headed, semi-circular or arched tops decorated with large ornate stone, concrete, brick or cast iron arches and keystones.

SECOND EMPIRE STYLE COMMERCIAL BLOCKS

"elaborate and bracketed under a mansard roof"

The four surviving Second Empire Style Commercial Blocks are located on The Square and West Street at the following addresses:

- 56, 58 The Square
- 162, 164 The Square
- 172 The Square
- 50 West Street



DESCRIPTION

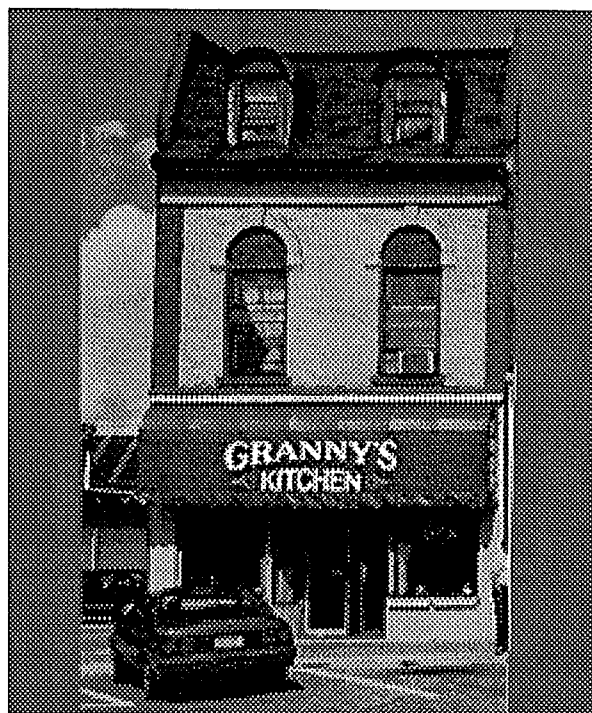
The **Second Empire** style refers to the style in France during the reign of Emperor Napoleon III, 1852-1870, when he undertook a major redevelopment of Paris. Because of its bourgeois appeal, the **Second Empire** style quickly caught on throughout Canada in the late 19th century. The most prominent feature of this style is the mansard roof, developed by Louis Mansard, architect to Louis XIV.

Because **Second Empire** buildings are a synthesis of French Renaissance, derived from Italian Renaissance, and Classical French Architecture, it is easy to see the overlap between the Italianate and Second Empire styles. With similarities such as the elaborate bracketed cornices, full sized pilasters and similar-size openings, the **Second Empire** differs from Italianate commercial block buildings mainly in the addition of the mansard roof forming the third or fourth floor of the building.

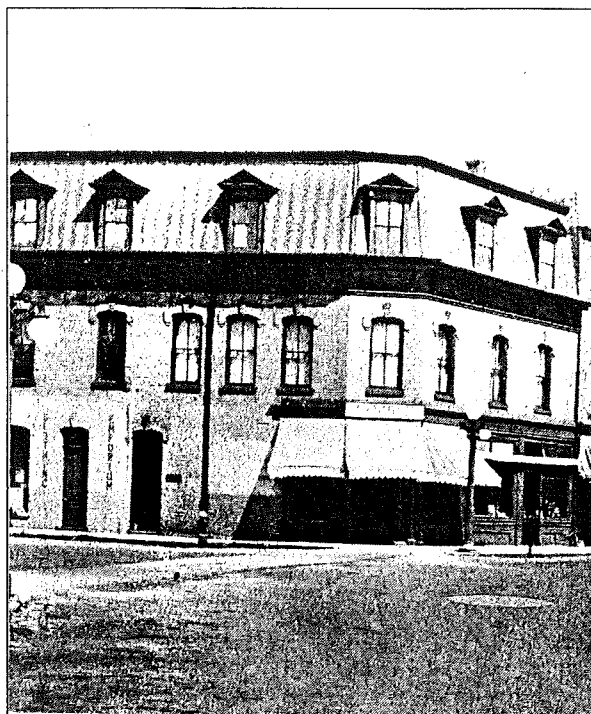
SECOND EMPIRE STYLE COMMERCIAL BLOCKS



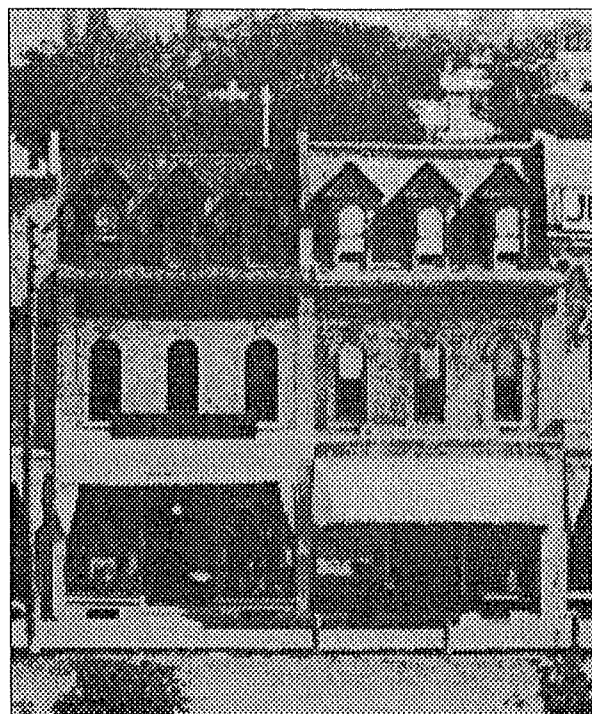
56, 58 The Square



50 West Street



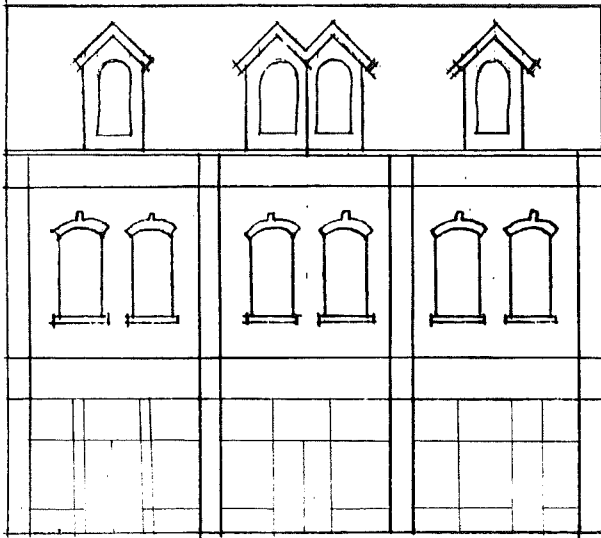
172 The Square



162, 164 The Square

GEOMETRIC ANALYSIS OF THE SECOND EMPIRE STYLE

This visual analysis subdivides the front walls of the buildings into the categories of Façade, Massing and Roof, Storefront Frames, Pilasters and Cornices and Storefronts, Windows and Openings which explain how all of the various components are related to each other and how they group themselves together to form the geometric patterns we see every day.



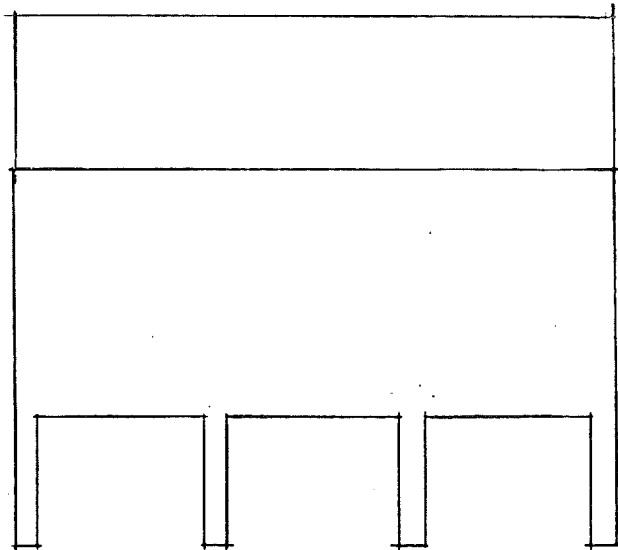
FAÇADE

Built of load bearing brick construction, the **Second Empire** style consists of varied rhythmic patterns, elaborate detailing and the added vertical emphasis of its mansard roof.

Like the Italianate, a pattern of intersecting vertical and horizontal frames is set up across the façade:

- vertical pilasters extend from the street up to the eaves.
- horizontal entablatures and cornices cross over the vertical pilasters.
- at each crossover or intersection of horizontal cornices and vertical pilasters a decorative bracket usually occur.

The façade itself rests solidly below a steeply pitched mansard roof. A series of single and/or paired dormer windows projects from the mansard roof.



MASSING and ROOF

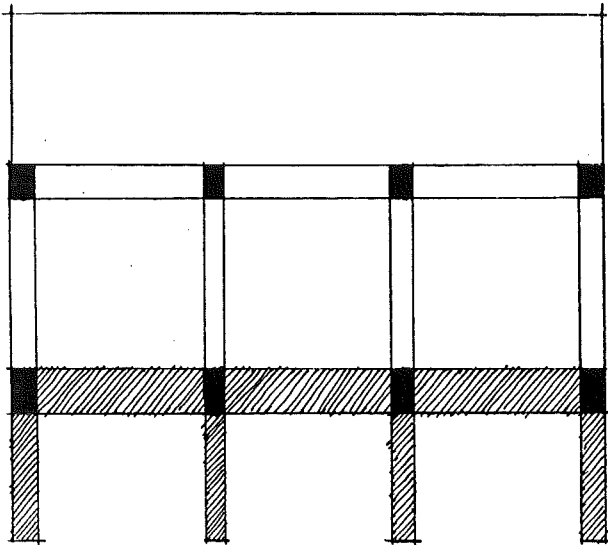
The massing of the **Second Empire** style consists of:

- a two or three storey brick building
- large openings for two or three storefronts per building with the ends of the brick walls which separate each store visible between each storefront.
- a steeply pitched mansard roof
- extended brick gables often subdivide the mansard roof

The combination of the masonry mass topped with a mansard roof gives these buildings a solid, taller appearance.

GEOMETRIC ANALYSIS OF THE SECOND EMPIRE STYLE

When trying to identify each style, determine how many of the original components are still in place and how many are missing. This will indicate how true the existing façade is to its original architectural character and what components may need work in order to renovate the commercial block to be more in keeping with its original character.



STOREFRONT FRAMES, PILASTERS and CORNICES

The **Second Empire** style storefront frame (shown shaded) consists of:

- a series of applied columns on brick pilasters extending upward from the street to brackets (shown black) at the point of intersection with the entablature.

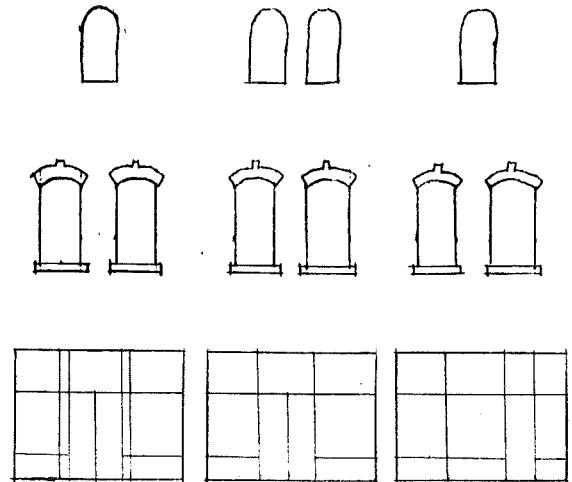
Historically the storefront frame was almost always made from wood.

The brick pilasters:

- extend upward to form a single or paired bracket at the point of intersection with the upper cornice.

Historically the upper cornices and brackets were made from stone, wood, pressed metal or elaborate corbelled brickwork.

The storefront frames, pilasters and cornices all project forward into the street from the masonry mass of the building.



STOREFRONT, WINDOWS and OPENINGS

The **Second Empire** storefront comprises:

- two or three storefront openings per commercial block.
- an opening extending from column to column and street to the underside of entablature or cornice on the main level.

Storefronts were originally constructed of wood and contained doors, transoms, display windows and wood panels.

Storefronts always recess from the masonry mass away from the street.

Windows on the upper levels:

- occur in regular or grouped patterns across the façade or are placed symmetrically about various centerline along the buildings façade.
- have round headed, semi-circular or arched tops decorated with large ornate stone, concrete, brick or cast iron arches and keystones.
- have small single or paired windows in the dormers causing a hierarchy of openings.

ARCHITECTURAL STYLES OF THE SQUARE AND WEST STREET

The commercial blocks previously mentioned within this report can be analysed by using the descriptions of the **Georgian, Italianate** and **Second Empire** architectural styles. However, these stylistic descriptions cannot be applied directly to all commercial blocks. As well as the three main categories, this listing also includes other architectural styles which exist around The Square and along West Street regardless of the age of the building.

THE SQUARE

North Street to Colborne Street

- 2 The Square - Italianate
- 4, 8, 10, 12, 14, 16 The Square - Italianate
- 18 The Square - Italianate

Colborne Street to West Street

- 24 The Square - Italianate bank block with doors and windows on the main floor instead of storefronts and storefront frames.
- 30 The Square - original Italianate façade has been renovated to a Modern style.
- 32 The Square - original Italianate façade has been extensively renovated.
- 34, 36 The Square - original Italianate façade has been extensively renovated.
- 40 The Square - Italianate bank block with doors and windows on the main floor instead of storefronts and storefront frames. Note that the surround at the corner is classical in design.

Note: 34, 36, 40 The Square and 32, 34 West Street were originally all one commercial block. The corner part of this block burned down and was rebuilt in the same architectural style but using more classical influenced details.

West Street to Montreal Street

- 44 The Square - Modern
- 52 The Square - Modern
- 54 The Square - Modern
- 56, 58 The Square - Second Empire

Montreal Street to South Street

- 68, 70, 72, 74, 76 The Square - Italianate
- 80 The Square - Modern

South Street to Kingston Street

- 92, 94 The Square - Italianate Hotel Block with a combination of doors, windows and storefronts on the main floor.
- 104, 108 The Square - Georgian with Italianate influences.

Kingston Street to East Street

- 112, 114 The Square - Georgian with Italianate influences.
 - 116, 120 The Square - Georgian with Italianate influences.
 - 122, 124 The Square - Italianate
 - 128 The Square - Modern
-

ARCHITECTURAL STYLES OF THE SQUARE AND WEST STREET

The listing is organized block by block. A commercial block may consist of one or more addresses. For example:

- 50 West Street is one commercial block
- 68, 70, 72, 74 and 76 The Square are all one commercial block

East Street to Hamilton Street

- 138 The Square - a new block designed with an Italianate influence
- 140, 142 The Square - Italianate
- 144 The Square - Italianate
- 146 The Square - Italianate with large second floor windows done in a later Chicago style
- 148 The Square - Georgian with added pilasters and Italianate windows
- 150 The Square - Italianate

Hamilton Street to North Street

- 158 The Square - original Italianate and Second Empire with the main floor renovated in a Modern style
- 162, 164 The Square - original Second Empire style extensively renovated
- 166, 168 The Square - original Georgian style façade has been renovated to a mixture of Georgian and Italianate styles.
- 172 The Square - Second Empire

WEST STREET

North Side

- 32, 34 West Street - Italianate
- 36, 38 West Street - Georgian
- 40, 42 West Street - Georgian
- 46, 48 West Street - Georgian bank block with doors and windows on the main floor instead of storefronts and storefront frames.
- 50 West Street - Second Empire
- 54 West Street - Modern *
- 56, 58, 60, 62 West Street - Modern *
- 64 West Street - Modern *
- 68 West Street - Modern *

South Side

- 31 West Street - Georgian
- 33 West Street - Italianate
- 35 West Street - Italianate
- 37, 39, 41 West Street - Italianate
- 43 West Street - Vernacular *
- 45 West Street - Vernacular *
- 49 West Street - Neoclassical *
- 53 West Street - Neoclassical *
- 57 West Street - Romanesque Revival *
- 65 West Street - Spanish Revival *

* Note: These addresses are not commercial blocks.

STOREFRONTS AND STOREFRONT FRAMES

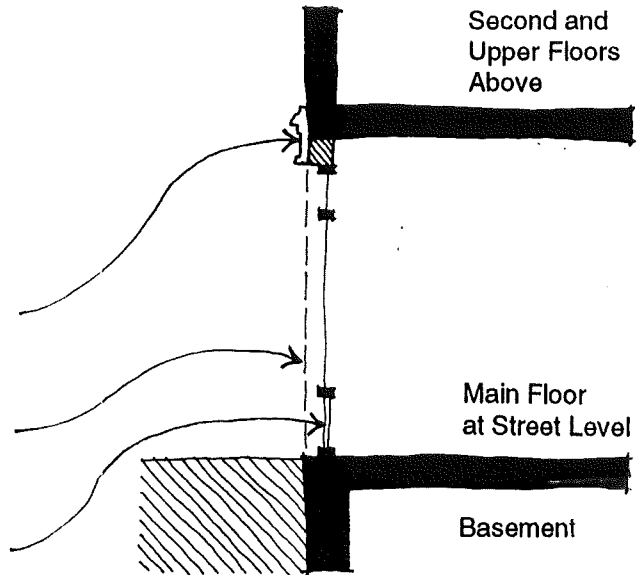
These diagrams illustrate the relationship between the storefront frame, the storefront and the mass of the building. This relationship applies to the **Georgian, Italianate, Second Empire** and other styles of commercial blocks.

SECTION

entablature of store front frame projects forward from the brick wall into street. The entablature's original purpose was to protect the timber beam (shown shaded) which originally supported the brickwork of second the floor.

broken line indicates outer face of the brick wall projected down from the upper floors.

exterior face of storefront originally recessed inward from the exterior surface of the brick wall above.



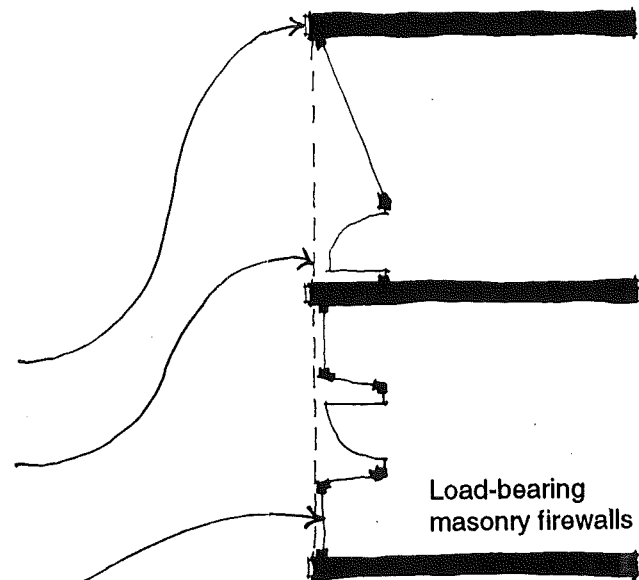
SECTION

MAIN FLOOR PLAN

applied pilasters of storefront frame project forward from brick wall. If there were no applied pilasters, the ends of load-bearing masonry firewalls were often left visible and were projected forward from the brick wall to form pilasters which extend upward on to the upper floor walls.

broken line indicates outer face of the brick wall projected down from the upper floors.

exterior face of storefront originally recessed inward from the exterior surface of the brick wall above.

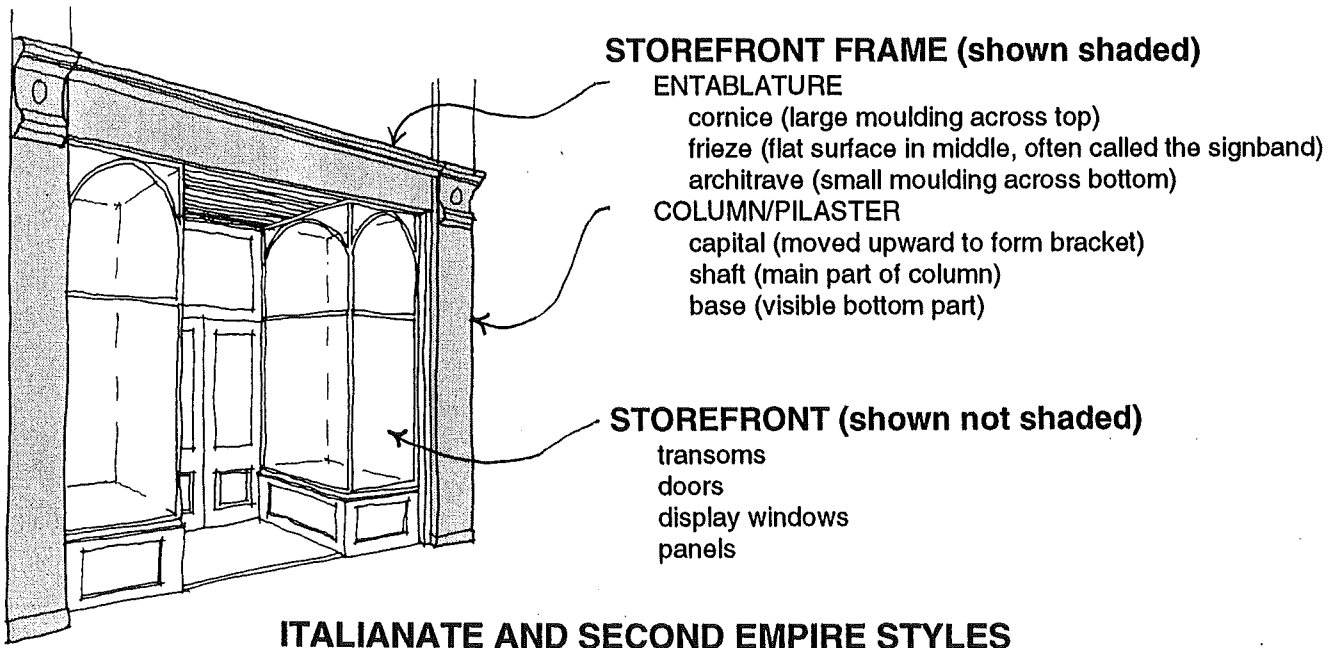
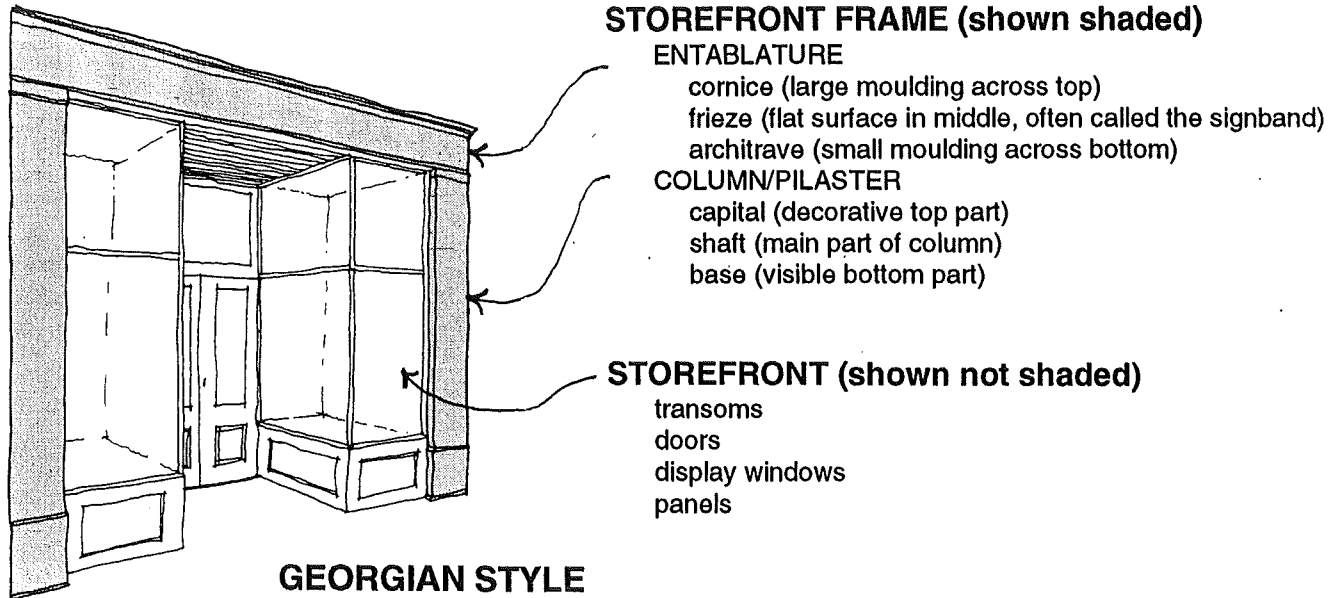


MAIN FLOOR PLAN

The original architectural character of these commercial blocks will be respected provided the storefront frame projects forward from the exterior of the brick wall and the storefront recesses inward from the exterior of the brick wall, whether the style be **Georgian, Italianate, Second Empire** or a newer style.

STOREFRONTS AND STOREFRONT FRAMES

These diagrams show the relationship between the storefront frame and storefront for the Georgian, and Italianate and Second Empire styles.



The original architectural character of these commercial blocks will be respected provided a separate storefront frame surrounds the storefront, whether the style be Georgian, Italianate, Second Empire or a newer style.

CONSISTENCY OF STOREFRONT FRAMES

As a general rule, all storefront frames should be of the same architectural style and detailing across the front of a commercial block.

In order to achieve, maintain and preserve the original architectural style of any given commercial block, all parts of the front façade need to be coordinated. The architectural detailing and proportioning of the storefront frames need to be regular and consistent in order to be in harmony with the original architectural style of the entire commercial block façade.

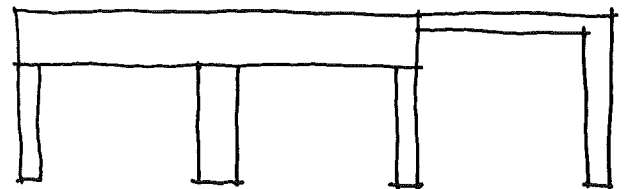
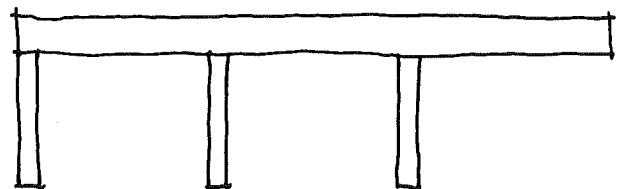
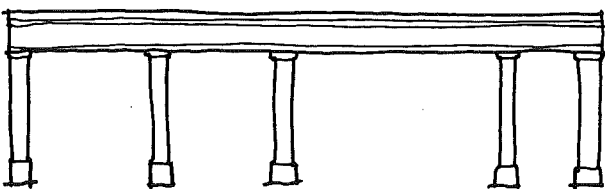
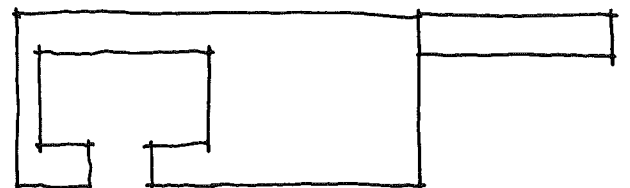
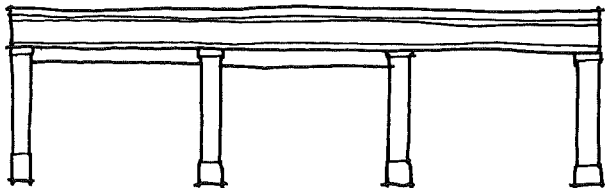
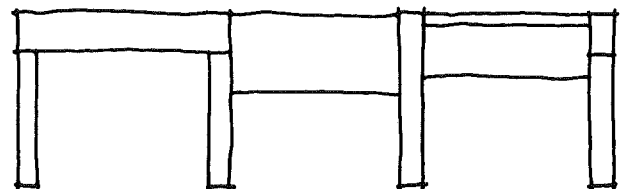
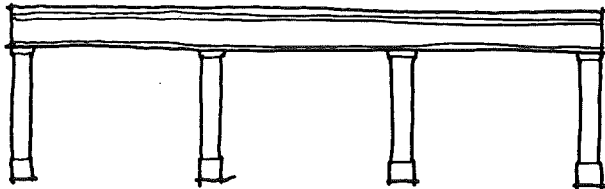
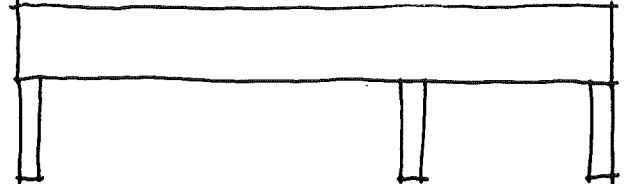
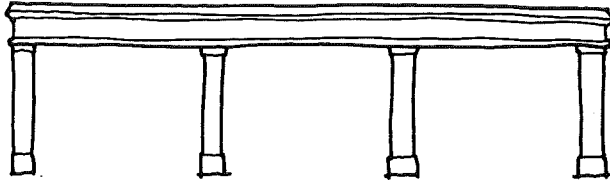
When one of the major components of a commercial block is missing or has been inappropriately modified, the original architectural character falls short in presenting an honest, unified and integral front to the street. Many of the original storefront frames within commercial blocks on The Square and West Street are either long gone or have been altered inappropriately. Because so many of the storefront frames are missing or altered, this section of the report will try to clarify some appropriate and inappropriate modifications to the storefront frames of the Georgian, Italianate and Second Empire styles.

It is recommended that a commercial block façade not be changed from one style to another unless research has determined that a mixture of styles existed originally. Elements of Italianate and Second Empire styling have and can be successfully combined together. The essence of the Georgian style, however, is changed too much if Italianate and Second Empire detailing is added.

CONSISTENCY OF STOREFRONT FRAMES GEORGIAN STYLE

APPROPRIATE

INAPPROPRIATE



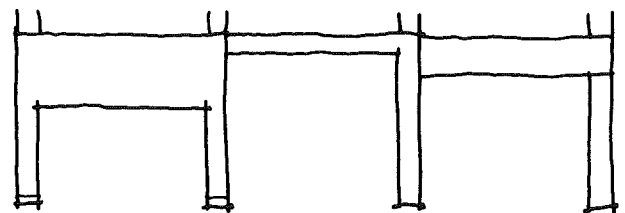
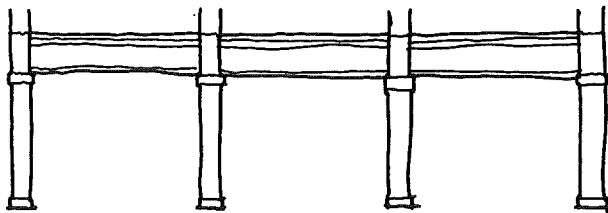
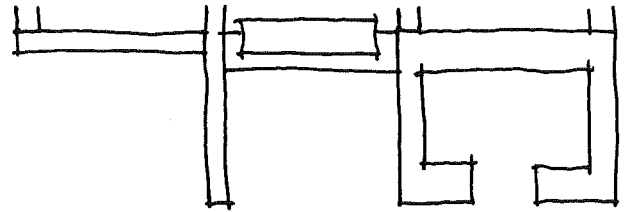
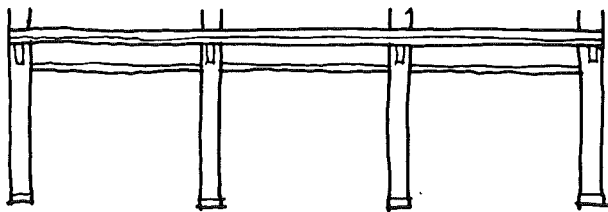
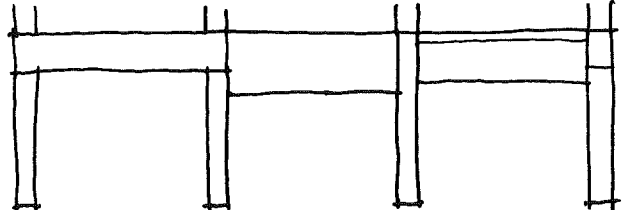
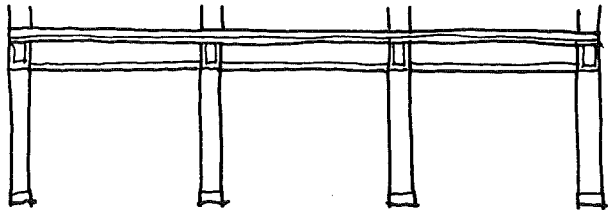
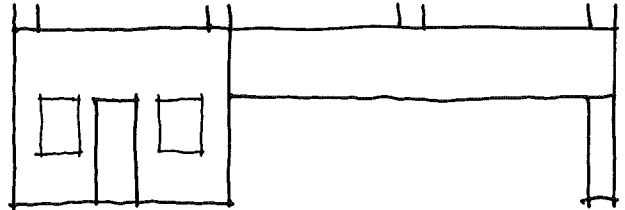
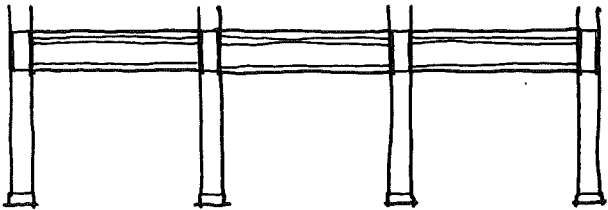
APPROPRIATE

INAPPROPRIATE

CONSISTENCY OF STOREFRONT FRAMES ITALIANATE AND SECOND EMPIRE STYLE

APPROPRIATE

INAPPROPRIATE



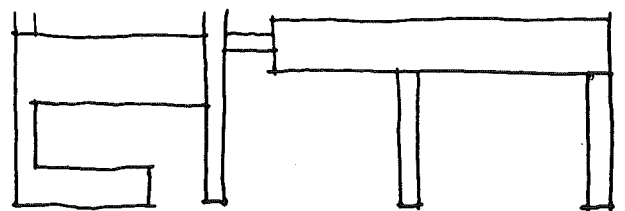
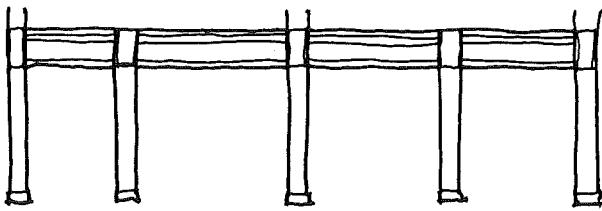
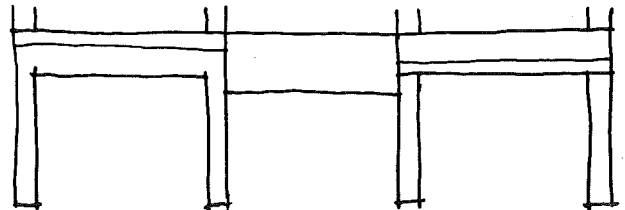
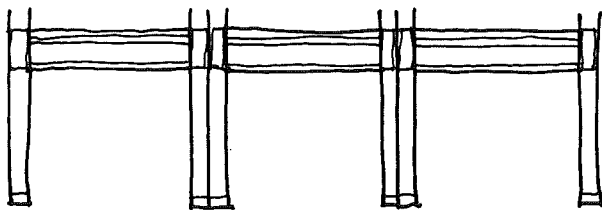
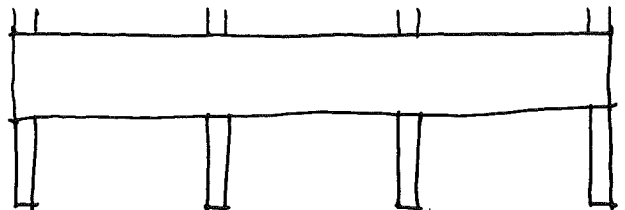
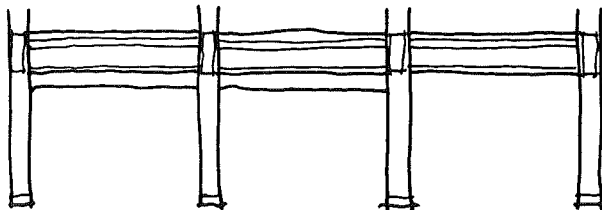
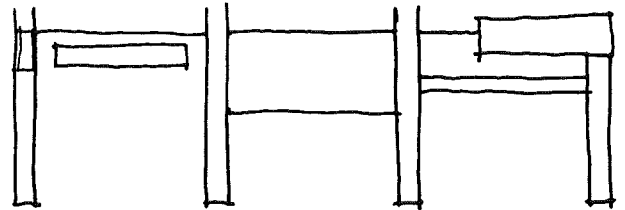
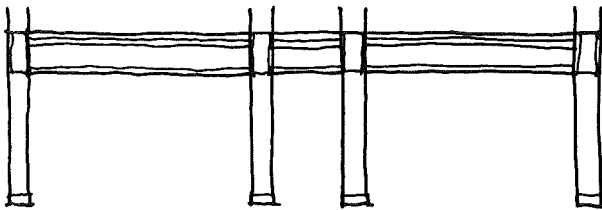
APPROPRIATE

INAPPROPRIATE

CONSISTENCY OF STOREFRONT FRAMES ITALIANATE AND SECOND EMPIRE STYLE

APPROPRIATE

INAPPROPRIATE

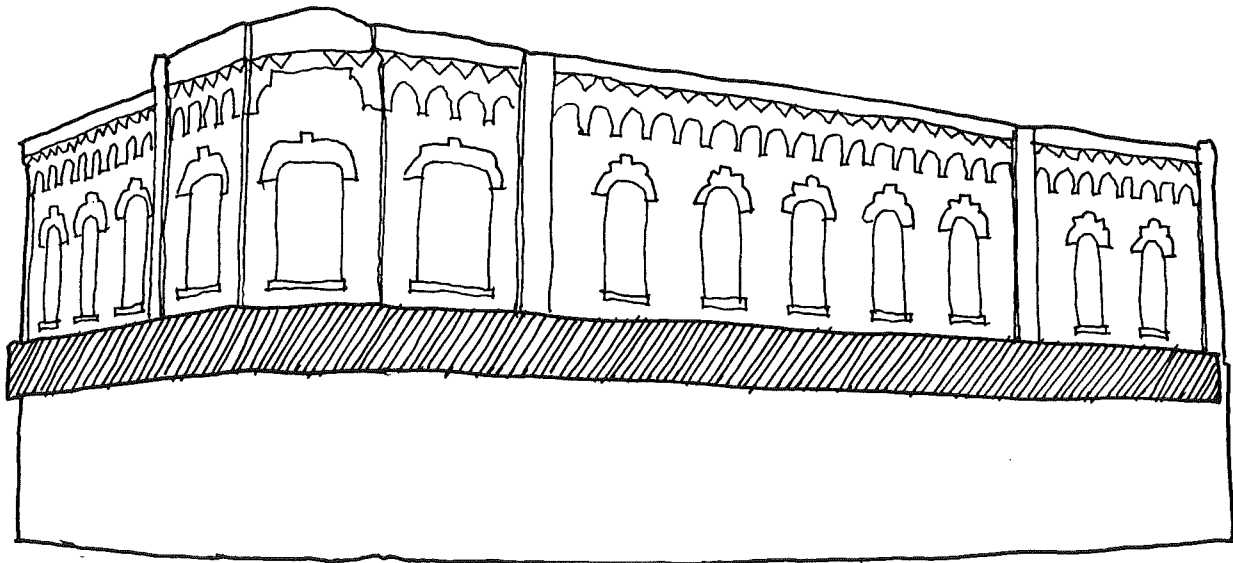


APPROPRIATE

INAPPROPRIATE

CORNER COMMERCIAL BLOCKS

Eight streets radiate from the octagon shape of The Square. These eight streets create sixteen corners which originally had sixteen commercial blocks or hotels. The Square's architectural context is greatly affected by the fact that the sides of the corner commercial blocks are totally visible. The side façades of the corner commercial blocks are as important as the front façades in the overall architectural character of The Square.



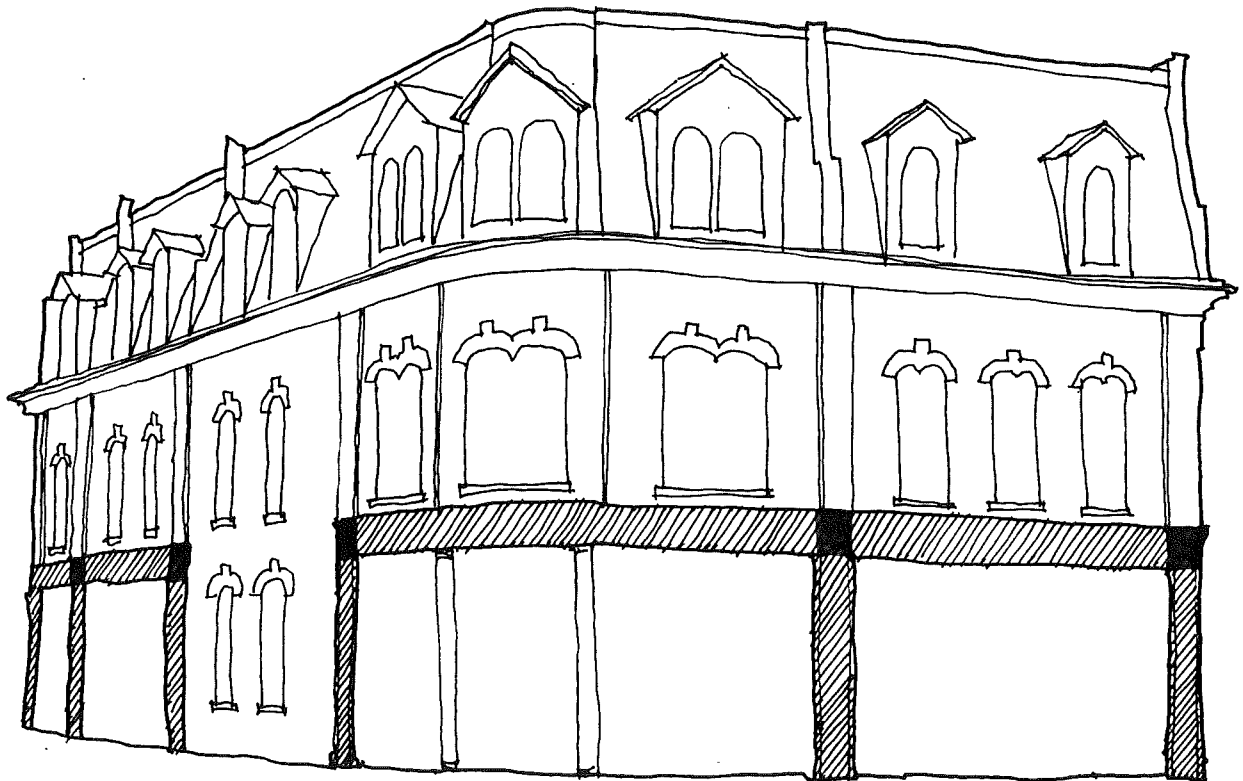
A SKETCH SHOWING 158 THE SQUARE

This contemporary style of entablature extends continuously and **inappropriately** along the front façade and all the way down the side façade of this corner commercial block.

The main floor façade of this building is over simplified. Its modern style has left out many of the components and parts required for the storefront frames and storefronts to be sympathetic to the Italianate style. However, all is not lost here as the second floor façade has its ornate Italianate style well preserved.

CORNER COMMERCIAL BLOCKS

Originally, a storefront frame wrapped around the corner with two iron columns flanking the corner door. This gave the front façade and side façade an impressive centerline which gracefully turned the corner. Storefront frames extended along The Square and only wrapped a short distance around the corner. From here the next bay had doors and windows, indicating a stairway up to the second floor, instead of a storefront and entablature. More storefronts and storefront frames often occurred further down the side toward the rear of the corner commercial block.



A SKETCH SHOWING 56 AND 58 THE SQUARE

This sketch indicates how and where the original storefront frames were placed on the front and side façades of corner commercial blocks. Note that the sketch adds two storefront frames near the rear of the block and that one of the two windows, in the bay which does not have the entablature, was originally a door.

The corner commercial blocks at:
18 The Square
68, 70, 72, 74, 76 The Square
112, 114 The Square
and
53 Hamilton Street
in Goderich
are original examples of
how commercial blocks architecturally "turn corners".

A FEW WORDS ABOUT STOREFRONTS

Storefronts

Located a few blocks north of The Square is one of the best facilities in Ontario to research the Victorian architectural styles of commercial blocks. Georgian, Italianate and Second Empire are three of the Victorian architectural styles. The Huron County Museum has an extensive archival collection of photographs from this area which can establish accuracy of detail for historic restoration and provide ideas for historically sympathetic renovations and modifications. As well as archival information, the museum has recreated a Victorian Main Street inside the museum using actual buildings and building fragments, saved from demolition, from Main Streets throughout Huron County. The accuracy to original detail at the Huron County Museum is commendable and should be used as a resource for anyone who is interested in historic architectural styles and detailing.

Historically, **storefronts** were tall, large screens of glass which were recessed inward from the brick mass of the commercial block. Extending from pilaster to pilaster and side walk up to the underside of the large timber or iron beam which held up the upper floors and their front wall, **storefronts** gave inviting views inward to the wares of the store and beyond into its interior. The **storefront** was and should be a giant window between the world outside the store and the world inside the store. **Storefronts** were completed with ornate panels of wood below raised display platforms. Large glass windows were topped with taller glass transoms above the windows. Tall double doors often sat propped open welcoming customers into the store. The doors into the store also had glass transoms above them. Iron columns were often placed inside or outside of the **storefront** to help hold up the beam above the **storefront**. The details and craftsmanship of these wood and glass screens were as varied as the skills of the wood workers who made them and the shop keepers who ordered them.

Many variations of **storefronts** can be created to be historically sympathetic with the original architectural styles of these commercial blocks. There is room for individuality. Each storefront within a commercial block can vary from one another. Coordinated colour schemes can be established to emphasize the different businesses within a commercial block. Individual signage on each storefront, coupled with how a business names and graphically expresses itself, goes a long way to convey the identity of each business within the rigours of an architectural style.

At this time in the life of The Square and West Street, most of the individual **storefronts** do not detract from the original character of the surviving commercial blocks which were built before 1950.

A FEW WORDS ABOUT SIGNAGE AND LIGHTING

Signage

Signs are as varied as the people who use them. The history of signage is a separate study all by itself. The Huron County Museum and Heritage Goderich LACAC are excellent resources for finding out about the type and placement of **signs** historically. Contemporary marketing trends, technology and personal perceptions all combine to form some interesting juxtapositions which are all too often superimposed overtop of the facades of commercial blocks. This occurrence is not always a bad thing depending upon the look the storekeepers hoped to achieve and the design skills of the **sign** makers. However, some of these juxtapositions are not sympathetic to the original architectural style of the commercial blocks.

The frieze of the entablature of the storefront frame is often referred to as the "signband" but this is not the only place where **signs** occurred historically. Depending on local **sign** bylaws, **signs** that do not detract from the architectural character of the commercial block can be placed:

- flat onto the brick walls of the upper floors of commercial blocks.
- in the frieze or signband of the entablature.
- as part of the shafts of the columns in the storefront frame.
- onto a lower recessed frieze or signband below the entablature and above the transom windows (this can also be used to accommodate a dropped interior ceiling.)
- fitted like a piece of glass into a transom above a display window or above a door.
- as lettering directly onto any glass within the storefront but being careful not to obscure or overpower views into the store interior.
- so that each individual storefront has its own **sign** even if adjacent storefronts are the same business inside. (ie. a retail business which occupies more than one bay should have **signs** for each storefront not one big **sign** superimposed across many storefronts or one **sign** only on the storefront of the main entrance.)

Signage which:

- obscures, covers up, or is superimposed over top of any or all parts of the storefront frame.
- makes two or three storefronts and storefront frames appear like one wide store.
- is too big and out of proportion with the proportions of the façade
- has not found a place compatible with the architectural character.
- has a signband that extends down to the top of the doors
- gives an overall horizontal effect to the front façade

should be avoided.

In short, bigger is not always better and a smaller well placed **sign** can work better with the original architectural detailing toward portraying an image of quality to the general public.

Lighting

During Victorian times, one or two bare **light** bulbs on a building's exterior was considered progressive. Nowadays, we flood entire building façades with **light** or outline various features with decorative **lighting**. Whether there should be next to no **light** or a flood of **light** on buildings in a Heritage District is not easy to determine. The current street **lights** which were installed around The Square during 1997 provide almost full illumination across the front façades of the buildings as well as more than adequate street **lighting**. This being said remember that the main priority of a Heritage District should be stewardship of the original styles of the remaining commercial blocks and that the district itself should be historically appropriate and sympathetic toward the architecture built on The Square and West Street before 1950. Therefore, the focus should be on getting the architecture in good shape before the **lighting** of building exterior and the **lighting** of signage is considered.

EIGHT GUIDING PRINCIPLES IN THE CONSERVATION OF HISTORIC PROPERTIES

The following guiding principles are statements prepared by the Ontario Ministry of Culture, Tourism and Recreation regarding the conservation of historic properties and are based on international charters which have been established over the century. These principles provide the basis for all decisions concerning good practice in architectural conservation around the world. Principles explain the "why" of every conservation activity and apply to all heritage properties and their surroundings.

1. **RESPECT FOR DOCUMENTARY EVIDENCE:**
Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.
2. **RESPECT FOR THE ORIGINAL LOCATION:**
Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Change in site diminishes heritage value considerably.
3. **RESPECT FOR HISTORIC MATERIALS:**
Repair/conservate - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historic content of the resource.
4. **RESPECT FOR ORIGINAL FABRIC:**
Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.
5. **RESPECT FOR THE BUILDING'S HISTORY**
Do not restore to one period at the expense of another period. Do not destroy later additions to a building solely to restore to a single time period.
6. **REVERSIBILITY:**
Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are rubbled, removed and stored, allowing for future restoration.
7. **LEGIBILITY:**
New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
8. **MAINTENANCE:**
With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

GLOSSARY

architrave The lowest part or architrave part of the storefront entablature used as a small decorative finish.

base Lowest and widest visible part of a column.

bay A regularly repeated spatial division on a wall defined by principal vertical supports. eg. pilaster to pilaster.

bracket A decorative member which projects from a wall where a pilaster and an entablature meet.

capital Decorative top part of a column.

column A vertical structural member often subdivided into a base, shaft and capital.

cornice A decorative horizontal projection forming the top of an entablature; or a decorative horizontal projection forming exterior trim of a building where the wall meets the roof or between floors.

datum line Any line which serves as a reference or base for measurements for other quantities.

display window A window in a storefront used to showcase retail products.

double hung A window which has two vertical sliding sashes. Sashes in double hung windows are historically divided into either 6, 9 or 12 panes of glass hence the terminology 6 over 6, 9 over 9 and 12 over 12.

entablature A horizontal board over a beam supported by columns or pilaster. An entablature consists of a cornice, frieze and architrave. The entablature is commonly referred to as a signboard but is not always used for signs.

façade The exterior wall or face of a building.

firewall An interior or exterior wall which has sufficiently high fire resistance and structural stability to restrict the spread of fire to adjoining areas or buildings.

flat arch An arch which is completely horizontal.

gable The triangular wall which encloses the end of a sloping roof from the eaves to the ridge of the roof.

load-bearing Capable of supporting another weight, or load. In the case of load-bearing walls, all parts of the wall are supporting weight.

massing The overall visual outline form and volume of a building.

opening A space in a wall usually for a doorway or a window.

panel A vertical decorative lightweight material which supports the glass display windows in a storefront; usually surrounded by a moulding around all four sides.

pilasters A half or partial column which may be structural or constructed as a projection of the wall itself; pilasters are sometimes found with a capital or bracket, shaft and base.

pitch The slope of a roof expressed as a ratio of vertical rise to horizontal run.

post & beam A type of construction using columns (posts) and beams (lintels) to carry a structural load over an opening.

segmental arch An arch whose curve is less than half the circumference of a circle.

semi-circular arch An arch which is a semicircle.

shaft The middle and longest part of a column found between the base and the capital.

transom A window found above a window or above a doorway.

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Eight Guiding Principles in the Conservation of Historic Properties prepared by The Ministry of Culture, Tourism and Recreation, Province of Ontario.

ACKNOWLEDGEMENTS

This report was prepared for
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I would like to thank the members of
HERITAGE GODERICH LACAC
Roslyn Campbell, Chairperson
Lynne Bishop
Marylo Graham
Lucinda Jerry
Roy Mason
Deb Shewfelt
David Yates

and thank the members of my staff
Nina Reynolds
Alison Brown
for their invaluable assistance
in the completion of this report.

A handwritten signature in black ink, appearing to read 'John Rutledge', is written over a horizontal line.

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January 1999